



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **36 Douglas Street, Bicheno**
CT 182419/1

PROPOSAL: **Change of Use of Unit 2 to Visitor**
Accommodation

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 18 August 2026..

APPLICANT: **Michael John Symons, Natalie Simone Symons, Shane**
Edward Denman, Longridge Enterprises Pty Ltd

DATE: **28/07/2026**

APPLICATION NO: **DA 2026 / 129**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Michael + Natalie Symons, Shane Denman, Longridge Enterprises Pty Ltd		
Contact person: (if different from applicant)	David Reed		
Address:	2/36 Douglas Street		
Suburb:	Bicheno	Post Code:	7215
Email:	david@reedconsulting.com.au	Phone: / Mobile:	0419 394 362
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
Details of Site (Note: If your application is discretionary, the following will be placed on public exhibition)			
Address of proposal:	2/36 Douglas St		
Suburb:	Bicheno	Post Code:	7215
Size of site: (m ² or Ha)			
Certificate of Title(s):	300438/2		
Current use of site:	Vacant dwelling		

General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	<i>Additional use: short stay accommodation</i>
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	☐ Yes / ☐ No
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.



Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

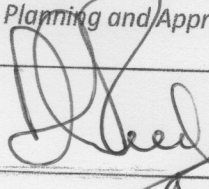
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	18/6/26	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☒ a signed application form;
- ☒ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☒ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☒ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 300438	FOLIO 0
EDITION 1	DATE OF ISSUE 22-Apr-2026

SEARCH DATE : 28-July-2026

SEARCH TIME : 06.24 pm

DESCRIPTION OF LAND

Town of BICHENO

The Common Property for Strata Scheme [300438](#)

Derivation : Whole of Lot 1 (1588m2) The Crown

Prior CT [182419/1](#)SCHEDULE 1STRATA CORPORATION NUMBER [300438](#), 36 DOUGLAS STREET, BICHENOSCHEDULE 2

- [M951042](#) Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
- [M977393](#) Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
- [M977393](#) FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 300438	FOLIO 2
EDITION 1	DATE OF ISSUE 22-Apr-2026

SEARCH DATE : 28-July-2026

SEARCH TIME : 06.24 pm

DESCRIPTION OF LAND

Town of BICHENO

Lot 2 on Strata Plan [300438](#) and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/30 interest

Derived from Strata Plan [300438](#)

Derivation : Whole of Lot 1 (1588m2) The Crown

SCHEDULE 1

[M977393](#) TRANSFER to MICHAEL JOHN SYMONS and NATALIE SIMONE SYMONS (jointly as between themselves) of one undivided 1/3 share, SHANE EDWARD DENMAN of one undivided 1/3 share and LONGRIDGE ENTERPRISES PTY. LTD. of one undivided 1/3 share as tenants in common Registered 29-Sept-2022 at noon

SCHEDULE 2

The registered proprietor holds the lot and unit entitlement subject to any interest noted on common property Folio of the Register volume [300438](#) folio 0

[M951042](#) Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown

[M977393](#) Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown

[M977393](#) FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

TOWN OF BICHENO FOLIO REFERENCE CT 182419-1 SITE COMPRISES THE WHOLE OF LOT 1 ON SP182491		STRATA PLAN SHEET 1 OF 3 SHEETS		Registered Number 300438	
		NAME OF STRATA SCHEME 36 DOUGLAS STREET, BICHENO		STRATA TITLES ACT 1998 REGISTERED 22 APR 2025  Recorder of Titles.	
		SCALE 1: 300	LENGTHS IN METRES		

SITE PLAN



NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.	 Council Delegate 6.03.26 Date  Registered Land Surveyor 17.12.25 Date
STAGED/COMMUNITY DEVELOPMENT SCHEME No. (IF APPLICABLE)	LODGED BY ANDY HAMILTON & ASSOCIATES

STRATA PLAN

SHEET 2 OF 3 SHEETS

STRATA TITLES ACT 1998

Chief Executive Officer being the
General Manager as appointed by
Council pursuant to section 61 of the
Local Government Act 1993 (Tas)

Council Delegate

6.03.26
Date

Registered Number

300438

SCALE 1:300



HORIZONTAL BOUNDARIES OF LOTS ARE SHOWN BY HEAVY UNBROKEN LINES
DEFINED BY - EXTENSION OF LINE FACE OF SHED
- OPEN BOUNDARIES DEFINED BY MEASUREMENT NOT WITHIN BRACKETS
- SITE BOUNDARIES AS SHOWN
- EDGE CONCRETE SHOWN EC
- FACE CARPORT SHOWN FC
- FACE SHED SHOWN FS
- BOUNDARIES FIXED BY OFFSET AS SHOWN
AND EXTENSION THEREOF AS THE CASE MAY BE.
CS IS CORNER OF SHED

VERTICAL LOT BOUNDARIES EXTEND FROM 5 METRES BELOW GROUND LEVEL
TO 10 METRES ABOVE GROUND LEVEL

17.12.25
Registered Land Surveyor Date

STRATA PLAN

SHEET 3 OF 3 SHEETS

STRATA TITLES ACT 1998

Registered Number
300438

NAME OF BODY CORPORATE: Strata Corporation No. **300438**, 36 DOUGLAS STREET, BICHENO

ADDRESS FOR THE SERVICE OF NOTICES: 36 DOUGLAS STREET, BICHENO,7215
TAS

SURVEYORS CERTIFICATE

I, Andrew Stuart Hamilton of Bicheno, a land surveyor registered under the Land Surveyors Act 2002 certify that the building or buildings erected on the site and drawn on sheet 1 of this plan are within the site boundaries of the folio stated on sheet 1 and any encroachment beyond those boundaries is properly authorised according to law.



17-12-25 9649 21

Registered Surveyor date ref no

COUNCIL CERTIFICATE

I certify that the **GLAMORGAN / SPRINGBAY** Council has
(a) approved the lots shown on this plan and
(b) issued this certificate of approval in accordance with Section 31 of the Strata Titles Act 1998



Chief Executive Officer being the General Manager as appointed by Council pursuant to section 61 of the Local Government Act 1993
Council Delegate date ref no

603.26 092023/0180

GENERAL UNIT ENTITLEMENTS

LOT	UNIT ENTITLEMENT		
1	10		
2	10		
3	10		
TOTAL	30		

Layout No: Layout Name	
SK 0.01	COVER
SK 1.01	LOCATION PLAN
SK 1.02	EXISTING SURVEY
SK 1.03	WHOLE OF SITE PLAN
SK 1.04	SITE PLAN (A3)
SK 1.05	SHADOW DIAGRAMS
SK 2.01	GROUND FLOOR PLAN (House 3)
SK 2.02	ROOF PLAN (House 3)
SK 3.01	ELEVATIONS - FRONT
SK 3.02	ELEVATIONS - REAR
SK 3.03	ELEVATIONS - SIDE
SK 4.01	TYPICAL SECTION
SK 12.01	DOOR & WINDOW SCHEDULE

PROPOSED DWELLINGS

36 DOUGLAS STREET
BICHENO TAS 7215

DEVELOPMENT
APPLICATION
SUBMISSION



3D PERSPECTIVES FOR ILLUSTRATION ONLY





- SURVEY NOTES:
1. DATE OF SURVEY 9/3/2022
 2. LOCATION: 36 DOUGLAS STREET, BICHENO
 3. SURVEYED VIA THE USE OF GPS AND TOTAL STATION
 4. COORDINATE DATUM IS GDA94 VIA SPM10596
 5. POSITIONAL UNCERTAINTY OF CONTROL USED IS 0.04m
 6. LEVEL DATUM IS AHD83 VIA SPM10596
 7. TITLE BOUNDARY INFORMATION SUPPLIED BY A. HAMILTON TO DISPLAY ON THIS PLAN

LEGEND				SCALE 1:150 at A1		DESIGNED		DRAWN BY	L.CARMICHAEL	IS ISLAND SURVEYS TEL: 0418 593 300 CHEROKEE, TAS 7202 Andy Hamilton & Associates Registered Land Surveyors PO Box 223 Bicheno 7215 Ph. 0418 593 300 ABN: 29065277989 ashassoc@outlook.com	36 DOUGLAS STREET, BICHENO DETAIL SURVEY PLAN		DRAWING No	VERSION
						CAD FILE	DOUGLAS STREET DETAIL 230323.DWG	CHECKED					1	A
						DATUM	MG94	AUTHORISED					REFERENCE	
													SHEET	1 of 1
A	36 DOUGLAS STREET DETAIL SURVEY	23-Mar-23												
VERSION	REMARKS	DATE	APP'D											

EXISTING SURVEY
Scale - 1:500 - @ A3

PROPOSED DWELLINGS
36 DOUGLAS STREET
BICHENO TAS 7215

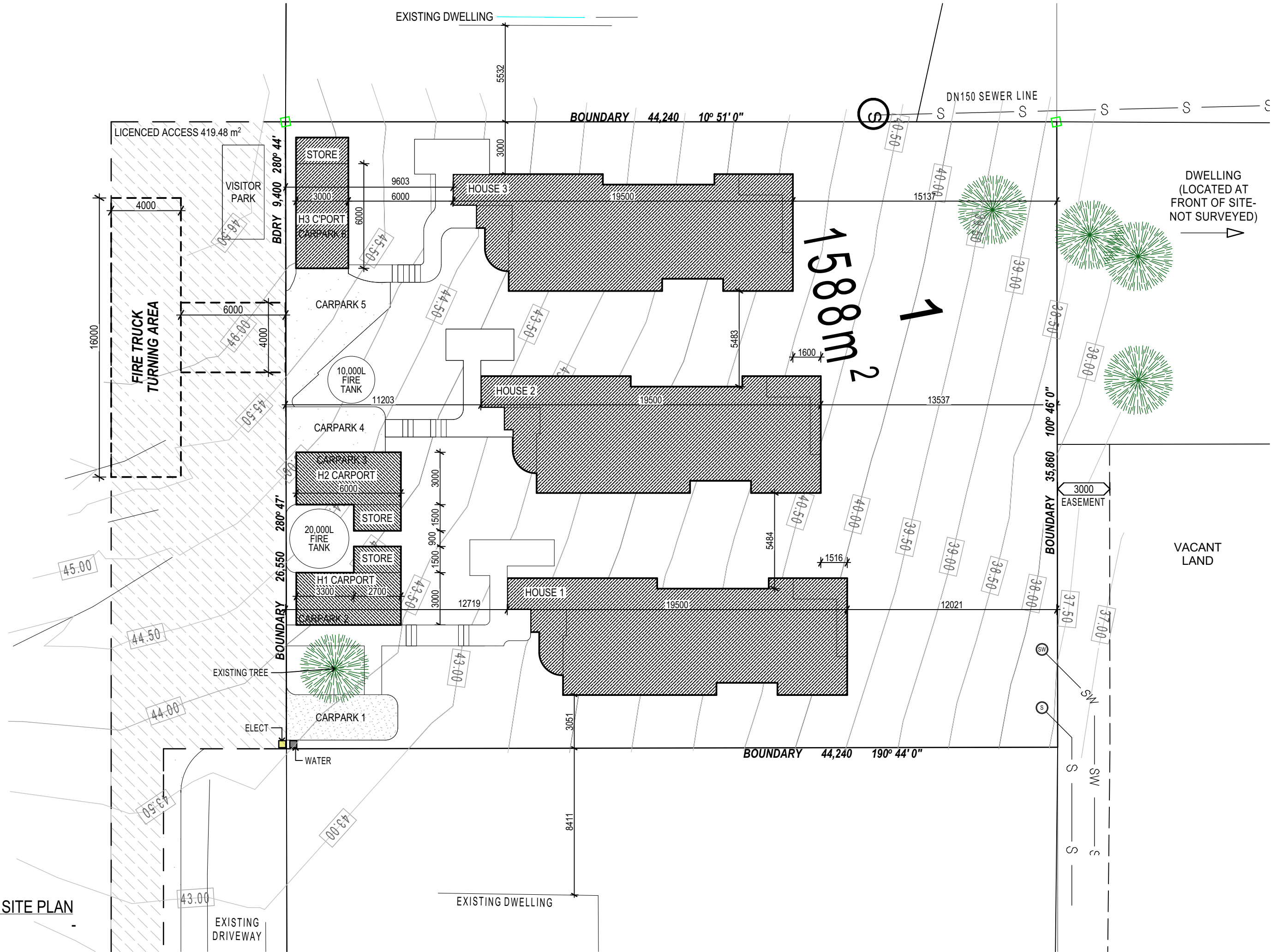
S | R | D

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EXISTING SURVEY

SCALES: AS SHOWN @ A3 SHEET 17/01/2024
JOB NO: 2210
DRWG NO. SK 1.02
REVISION: (DA-03)





WHOLE OF SITE PLAN
Scale - 1:200

PROPOSED DWELLINGS
36 DOUGLAS STREET
BICHENO TAS 7215

S | R | D

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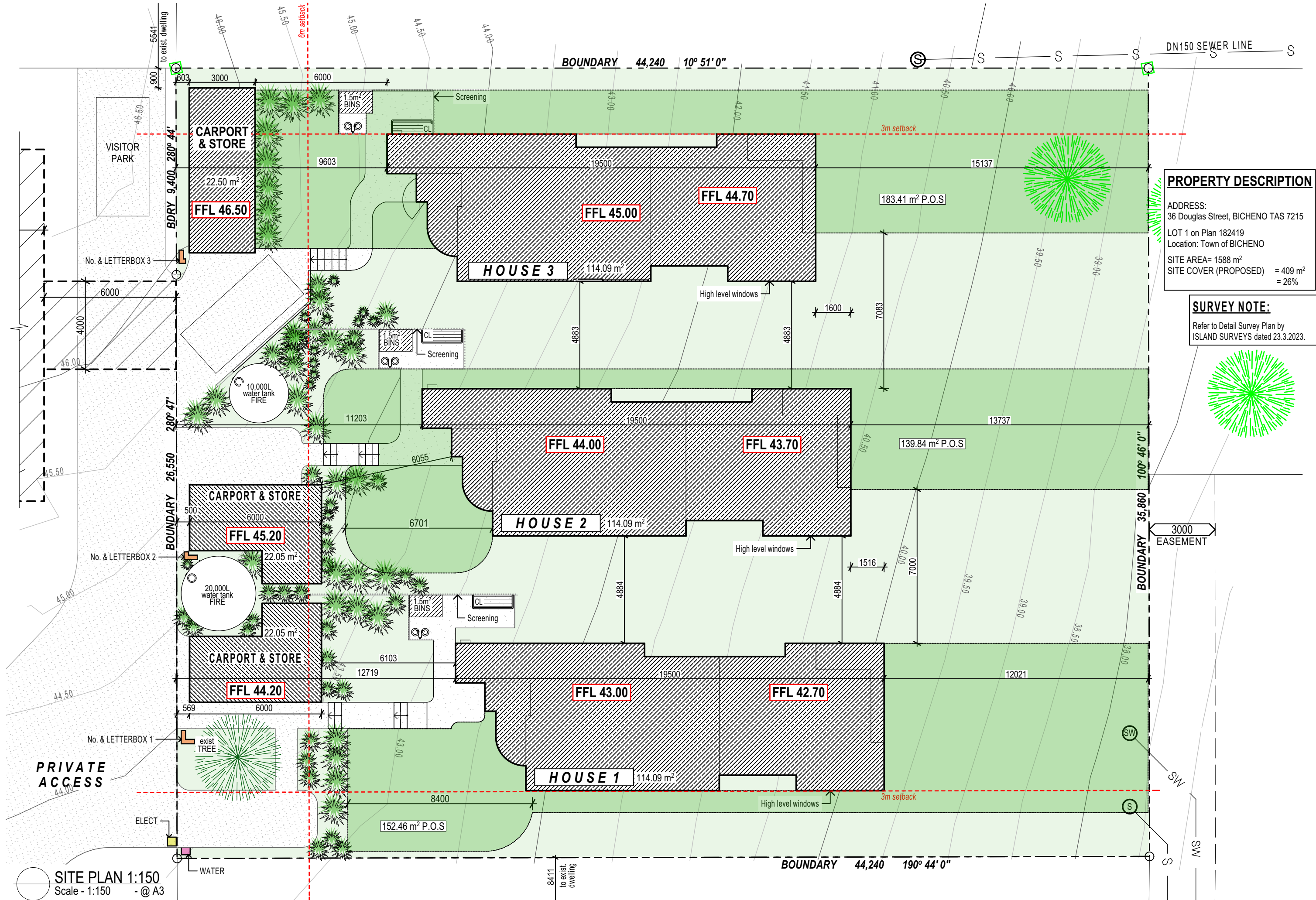


WHOLE OF SITE PLAN

SCALES: AS SHOWN @ A3 SHEET 17/01/2024
JOB NO: 2210
DRWG NO. SK 1.03
REVISION: (DA-03)



SHANE
DENMAN
ARCHITECTS



SUMMER SOLSTICE



Dec 21 - 9am
- NTS



Dec 21 - 12pm
- NTS



Dec 21 - 3pm
- NTS

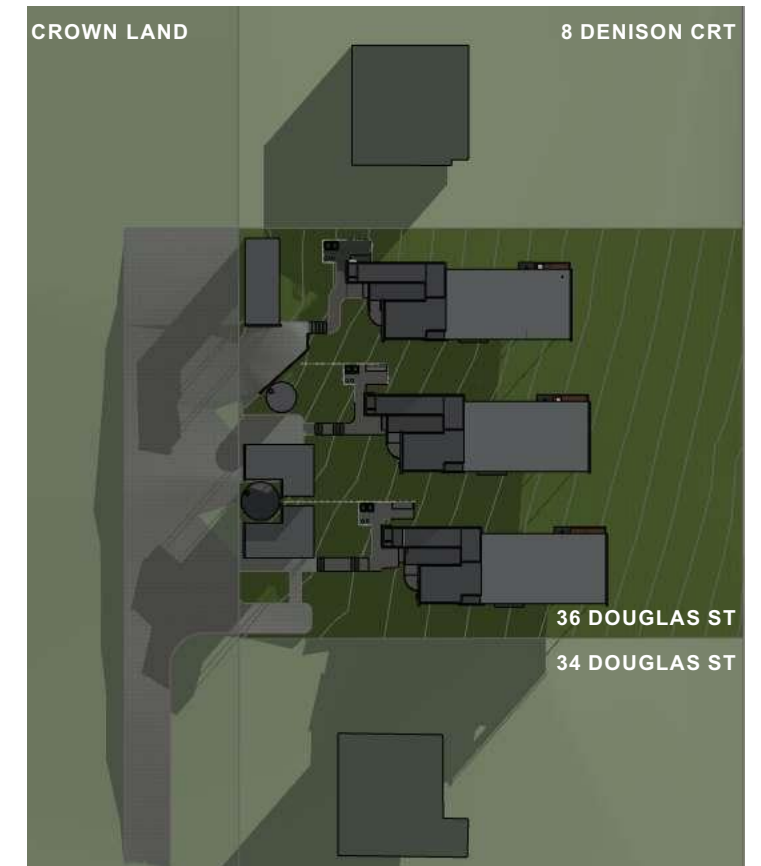
WINTER SOLSTICE



June 21 - 9am
- NTS

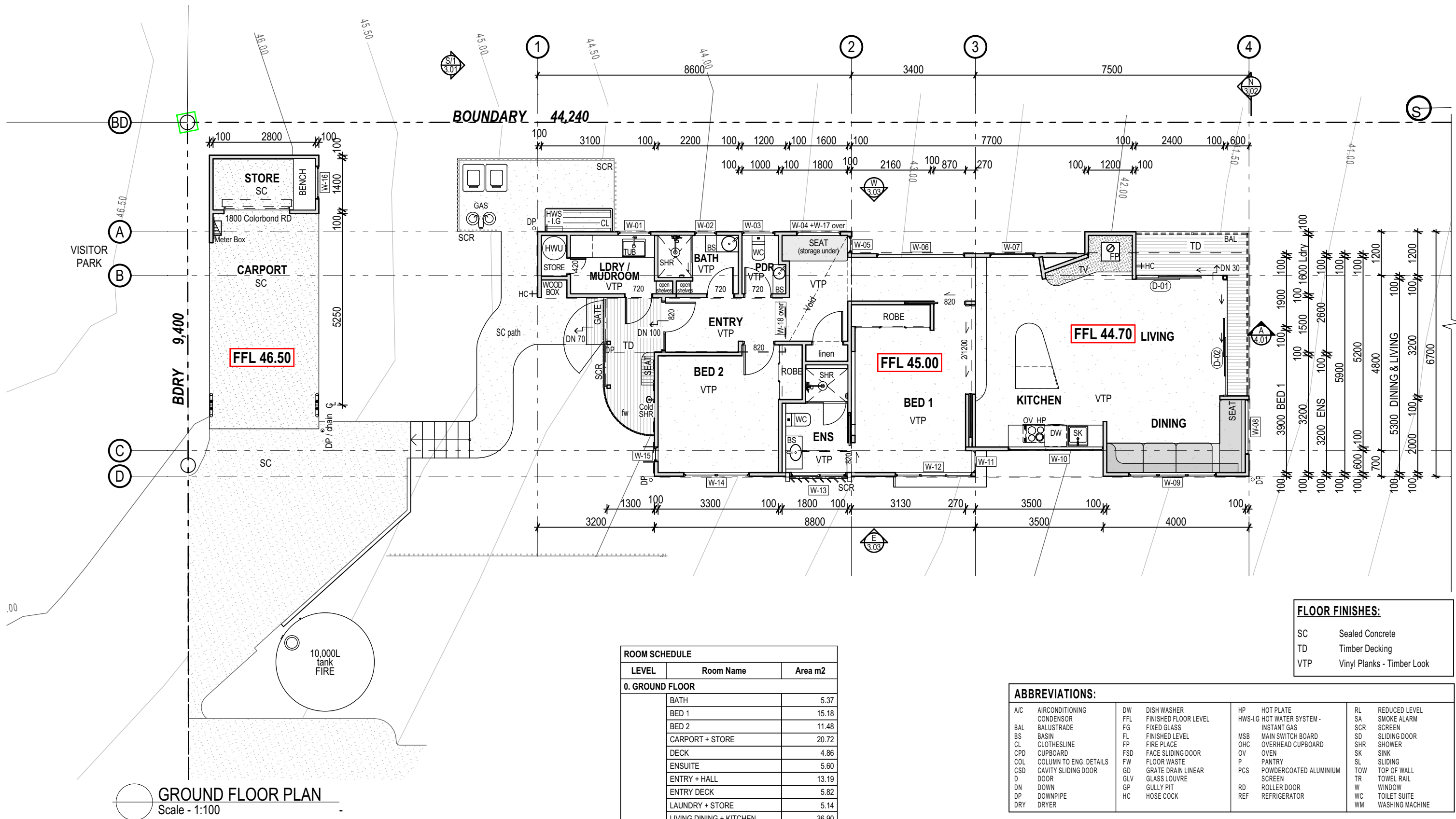


June 21 - 12pm
- NTS



June 21 - 3pm
- NTS





FLOOR FINISHES:	
SC	Sealed Concrete
TD	Timber Decking
VTP	Vinyl Planks - Timber Look

ROOM SCHEDULE		
LEVEL	Room Name	Area m2
0. GROUND FLOOR		
	BATH	5.37
	BED 1	15.18
	BED 2	11.48
	CARPORT + STORE	20.72
	DECK	4.86
	ENSUITE	5.60
	ENTRY + HALL	13.19
	ENTRY DECK	5.82
	LAUNDRY + STORE	5.14
	LIVING DINING + KITCHEN	36.90
		124.26 m ²

ABBREVIATIONS:					
A/C	AIRCONDITIONING	DW	DISH WASHER	HP	HOT PLATE
BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	HWS-I-G	HOT WATER SYSTEM - INSTANT GAS
BS	BASIN	FG	FIXED GLASS	MSB	MAIN SWITCH BOARD
CL	CLOTHESLINE	FL	FINISHED LEVEL	OHC	OVERHEAD CUPBOARD
CPD	CUPBOARD	FP	FIRE PLACE	OV	OVEN
COL	COLUMN TO ENG. DETAILS	FSD	FACE SLIDING DOOR	P	PANTRY
CSD	CAVITY SLIDING DOOR	FW	FLOOR WASTE	PCS	POWDERCOATED ALUMINIUM
D	DOOR	GD	GRATE DRAIN LINEAR		SCREEN
DN	DOWN	GLV	GLASS LOUVRE	RD	ROLLER DOOR
DP	DOWNPIPE	GP	GULLY PIT	REF	REFRIGERATOR
DRY	DRYER	HC	HOSE COCK		
				RL	REDUCED LEVEL
				SA	SMOKE ALARM
				SCR	SCREEN
				SD	SLIDING DOOR
				SHR	SHOWER
				SK	SINK
				SL	SLIDING
				TOW	TOP OF WALL
				TR	TOWEL RAIL
				W	WINDOW
				WC	TOILET SUITE
				WM	WASHING MACHINE

PROPOSED DWELLINGS
36 DOUGLAS STREET
BICHENO TAS 7215

S | R | D

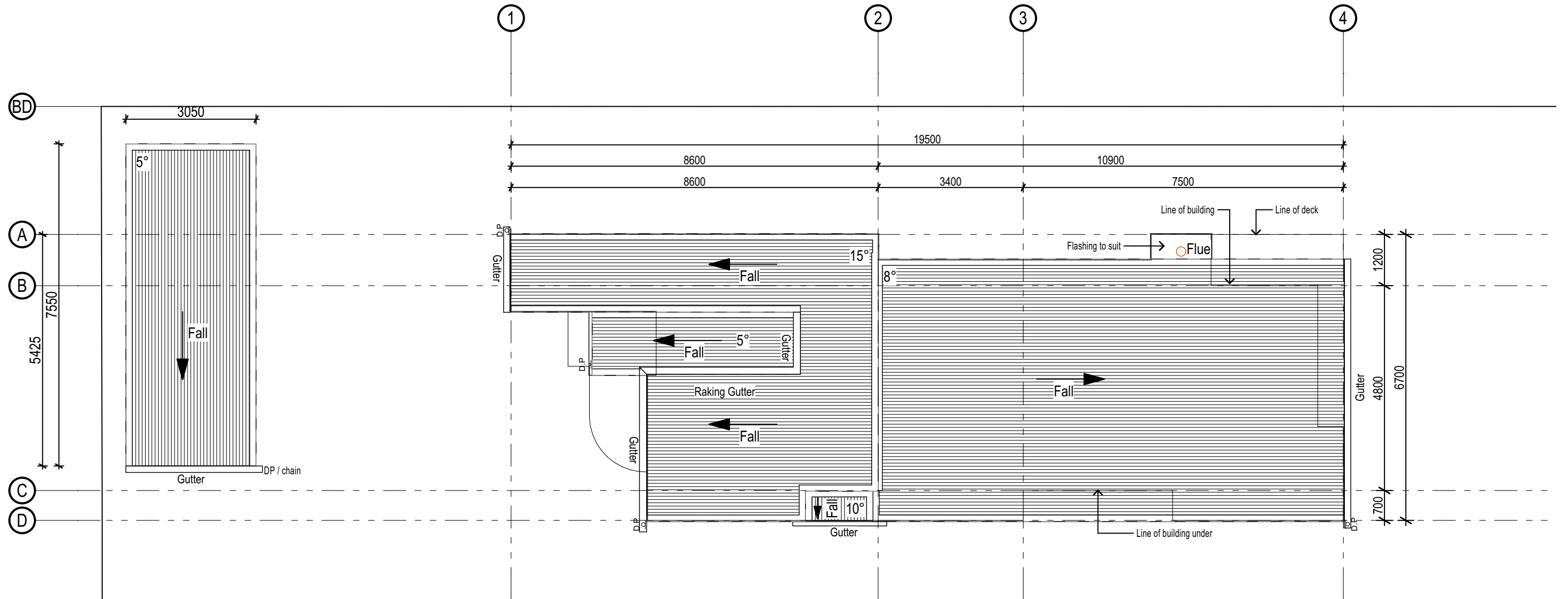
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GROUND FLOOR PLAN (House 3)

SCALES: AS SHOWN @ A3 SHEET 17/01/2024
JOB NO: 2210
DRWG NO. SK 2.01
REVISION: (DA-03)



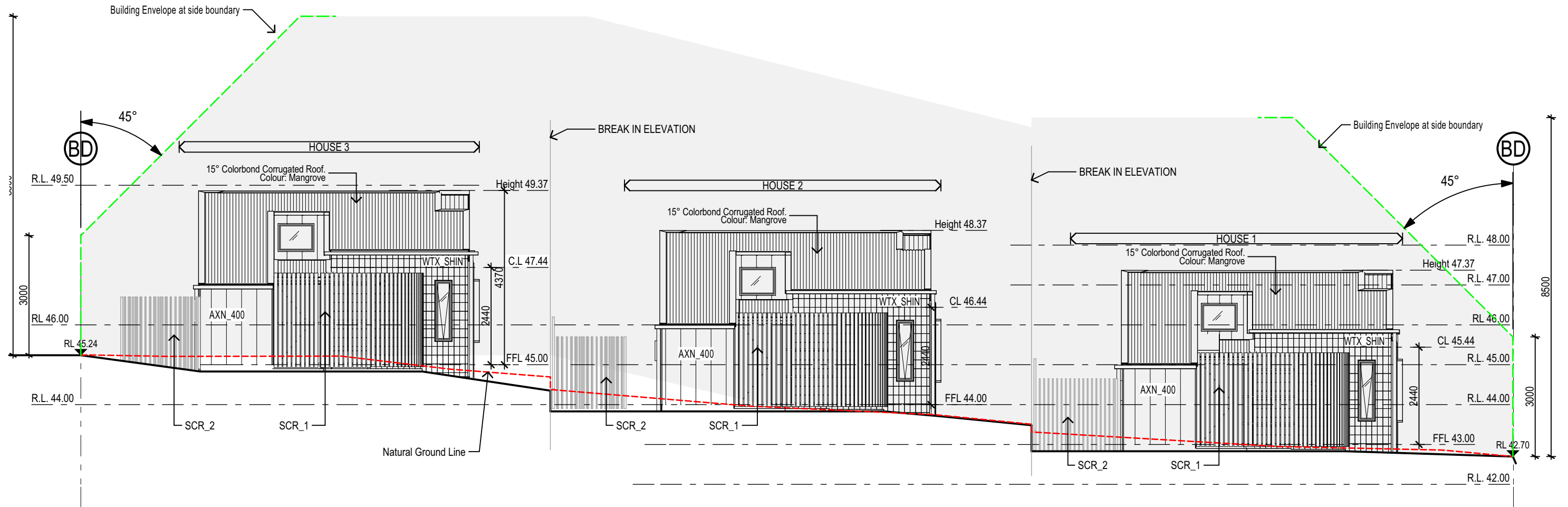


ROOF PLAN
Scale - 1:100

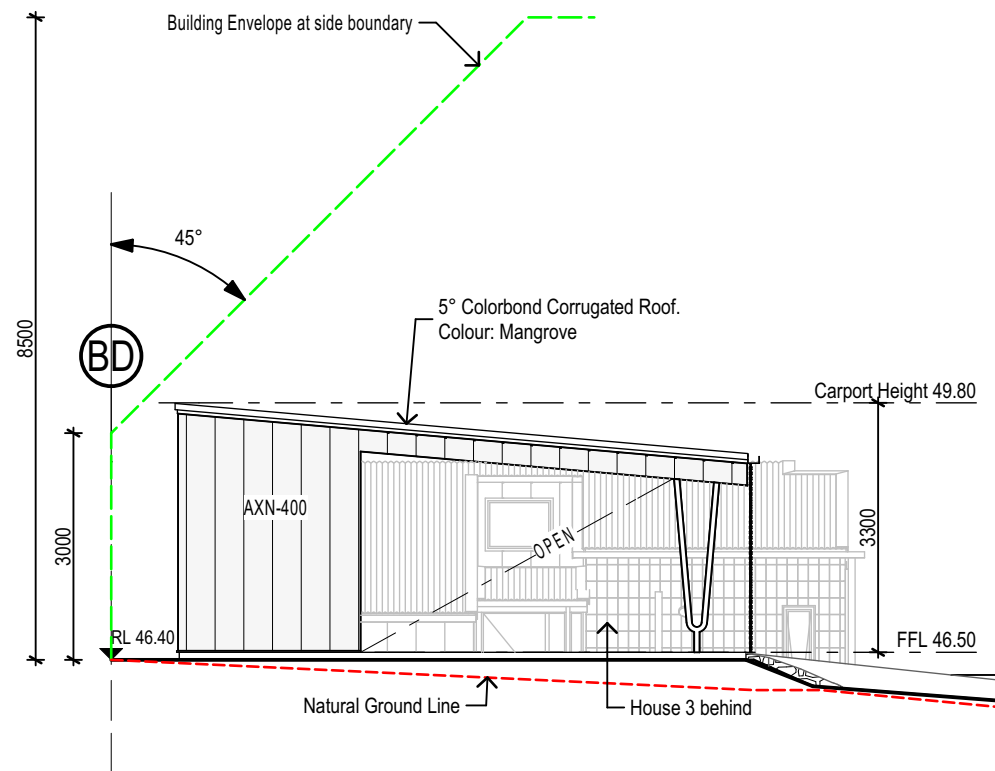
GENERAL ROOF NOTES

Roof type Corrugated Colorbond. Colour: Mangrove Ridge Cap Colorbond, 3 bend ridge cap or similar approved. Colour and finish to match roof. Barge Cap Colorbond, folded capping to detail. Colour and finish to match roof.	Gutters Colorbond 150mm wide x 120mm Deep smoothline half round gutter to Hydraulic Engineers Details. Colour: Mangrove. Flashings Colorbond flashings, barges and cappings typical. Colour: to match roof. Downpipes 100Ø or otherwise noted UPVC round downpipe or similar approved. Paint finish. Colour: to match gutters.	Fascia Colorbond steel fascias to suit roof trusses. Colour: Colorbond Mangrove. Roof Insulation R1.8 Anticon 75 insulation foil blanket to U/S of roof sheeting and R2 Ceiling batts either between purlins or above plasterboard ceiling. Confirm insulation requirements with Energy Efficiency Report.
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S1 SOUTH / FRONT ELEVATION - 3 LOTS NO CARPORT
Scale - 1:100



S2 SOUTH / CARPORT ELEVATION (House 3)
Scale - 1:100

LEGEND

MATERIALS SELECTIONS

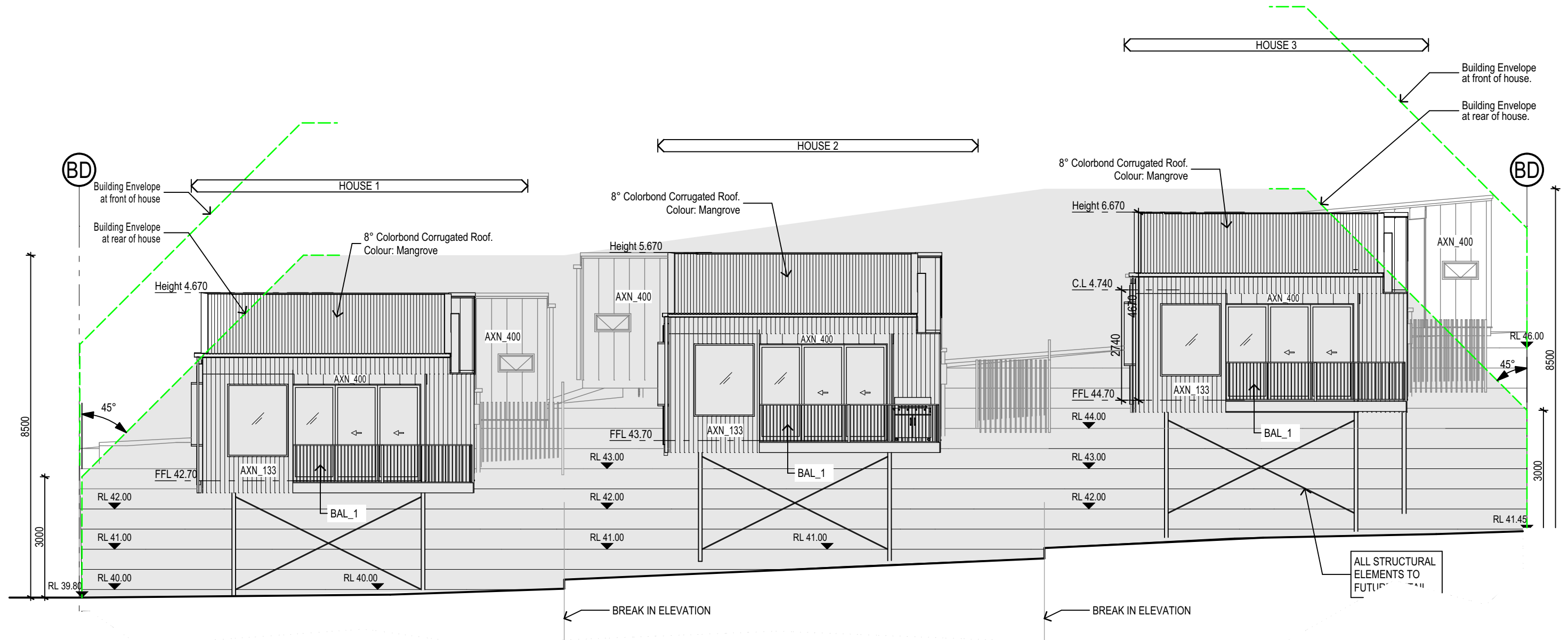
AXN_133	SCYON AXON CLADDING-133 SMOOTH. PAINT FINISH- P2.
AXN_400	SCYON AXON CLADDING-400 SMOOTH. PAINT FINISH- P1.
BAL_1	POWDERCOATED ALUMINIUM BALUSTRADE TO DETAIL. Colour MATT MONUMENT.
DP	100mm Ø UPVC DOWNPIPE. PAINT FINISH- P1.
WTX_SHIN	WEATHERTEX SHINGLES. PAINT FINISH- P3.

PAINT SELECTIONS

P1	To Match Colorbond MANGROVE
P2	Dulux TRISTAN (SN4H5)
P3	To Match Colorbond MONUMENT

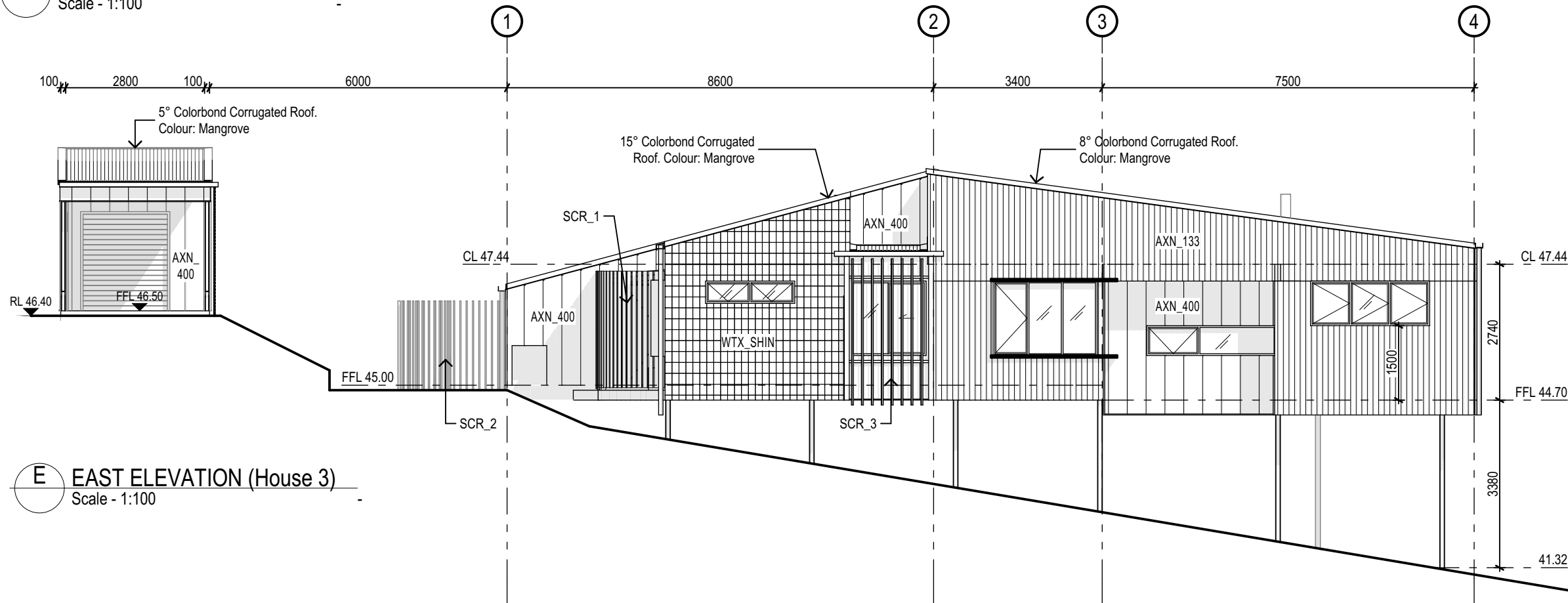
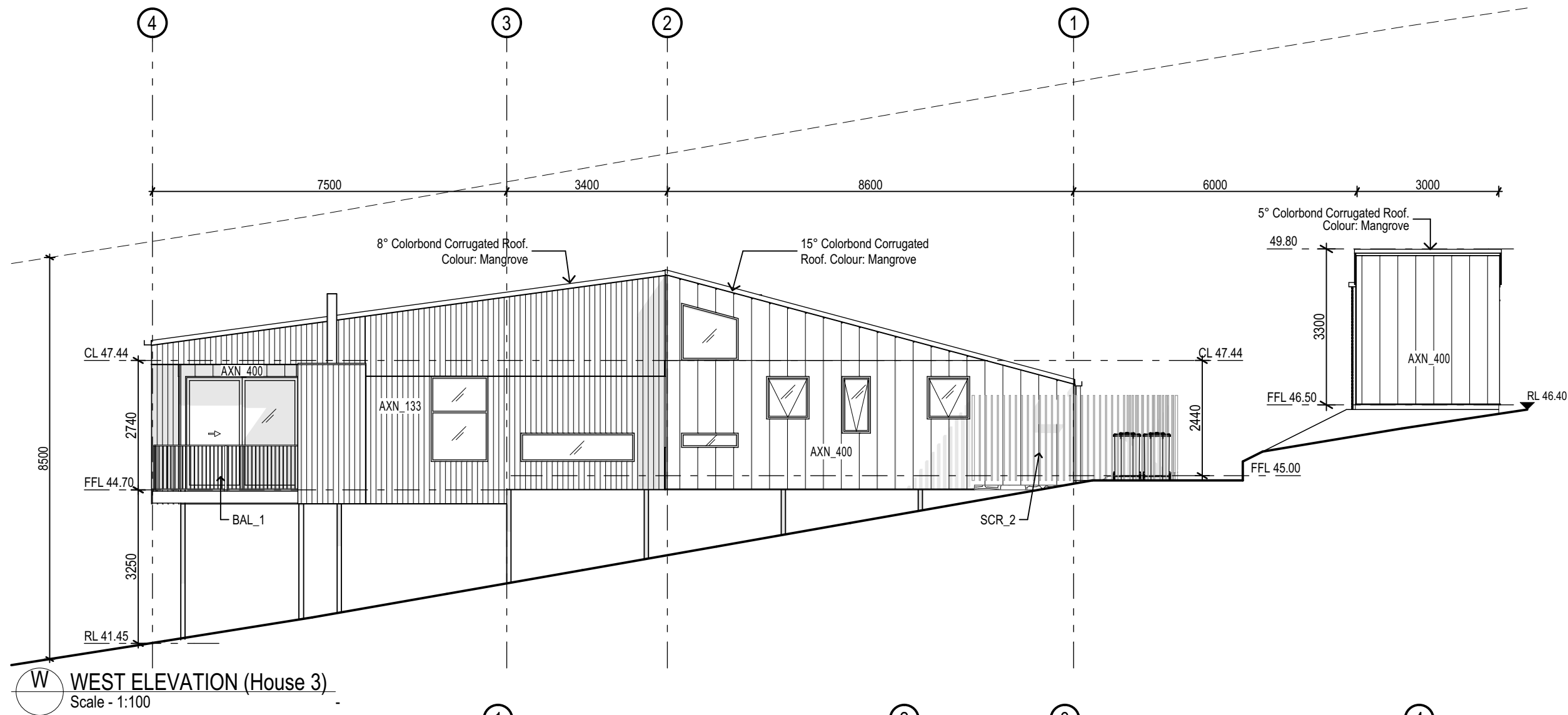
SCREEN SCHEDULE

SCR_1	ROUGH SAWN TAS OAK 90 x 19 natural finish, fixed to PC alum frame (Monument)
SCR_2	TIMBER SCREEN. PAINT FINISH TBA.
SCR_3	TIMBER SCREEN. PAINT FINISH- P1



NORTH /REAR ELEVATION - 3 LOTS
Scale - 1:100

LEGEND	
MATERIALS SELECTIONS	
AXN_133	SCYON AXON CLADDING-133 SMOOTH. PAINT FINISH- P2.
AXN_400	SCYON AXON CLADDING-400 SMOOTH. PAINT FINISH- P1.
BAL_1	POWDERCOATED ALUMINIUM BALUSTRADE TO DETAIL. Colour MATT MONUMENT.
DP	100mm Ø UPVC DOWNPIPE. PAINT FINISH- P1.
WTX_SHIN	WEATHERTEX SHINGLES. PAINT FINISH- P3.
PAINT SELECTIONS	
P1	To Match Colorbond MANGROVE
P2	Dulux TRISTAN (SN4H5)
P3	To Match Colorbond MONUMENT
SCREEN SCHEDULE	
SCR_1	ROUGH SAWN TAS OAK 90 x 19 natural finish, fixed to PC alum frame (Monument)
SCR_2	TIMBER SCREEN. PAINT FINISH TBA.
SCR_3	TIMBER SCREEN. PAINT FINISH- P1



LEGEND

MATERIALS SELECTIONS

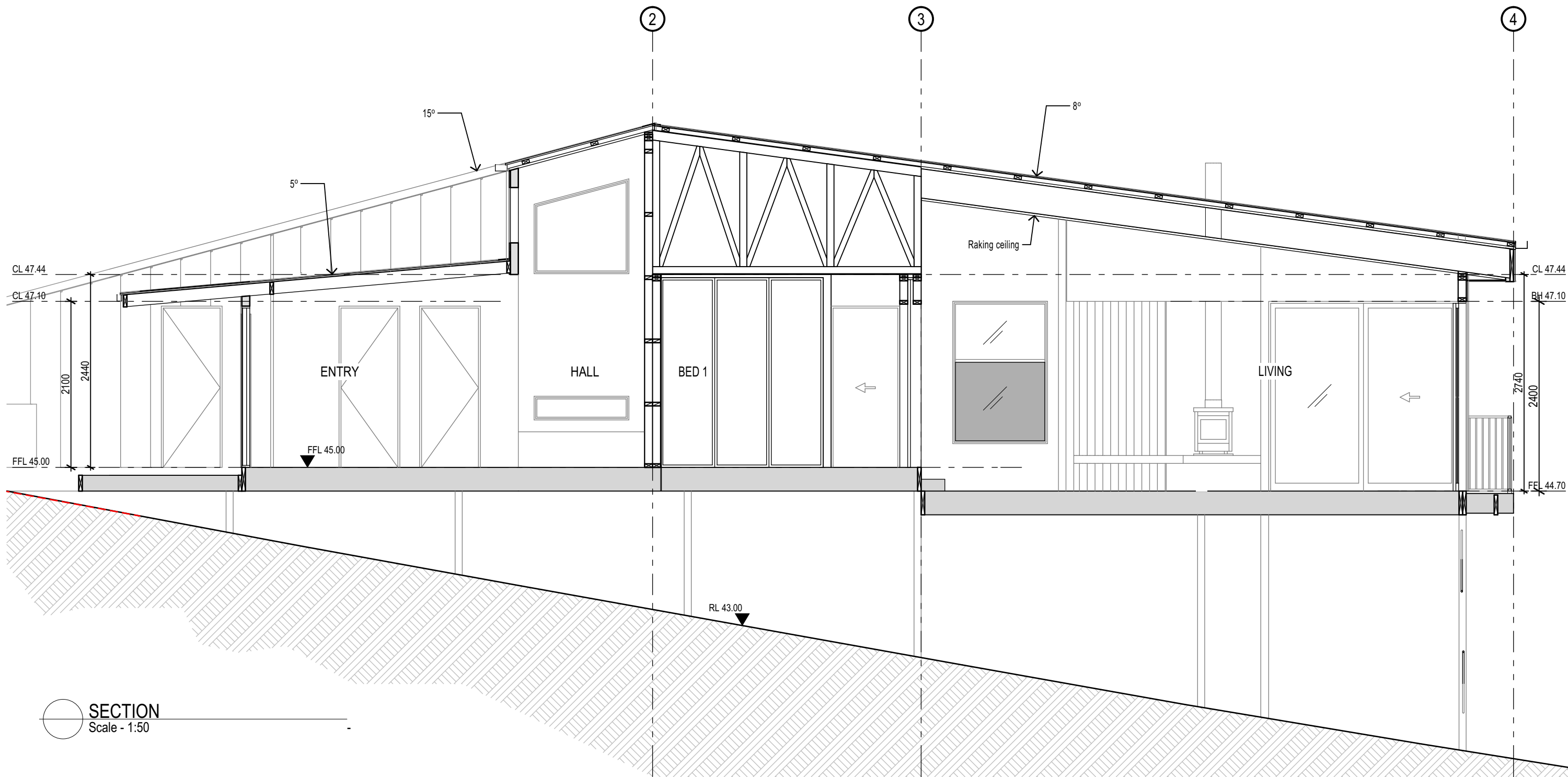
AXN_133	SCYON AXON CLADDING-133 SMOOTH. PAINT FINISH- P2.
AXN_400	SCYON AXON CLADDING-400 SMOOTH. PAINT FINISH- P1.
BAL_1	POWDERCOATED ALUMINIUM BALUSTRADE TO DETAIL.
DP	100mm Ø UPVC DOWNPIPE. PAINT FINISH- P1.
WTX_SHIN	WEATHERTEX SHINGLES. PAINT FINISH- P3.

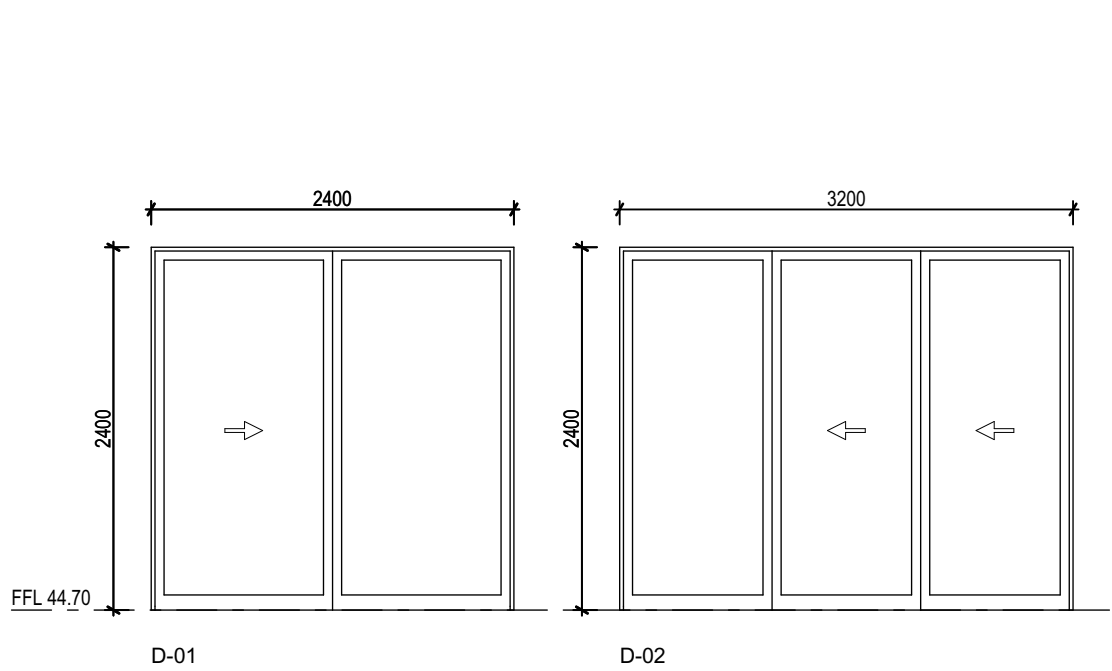
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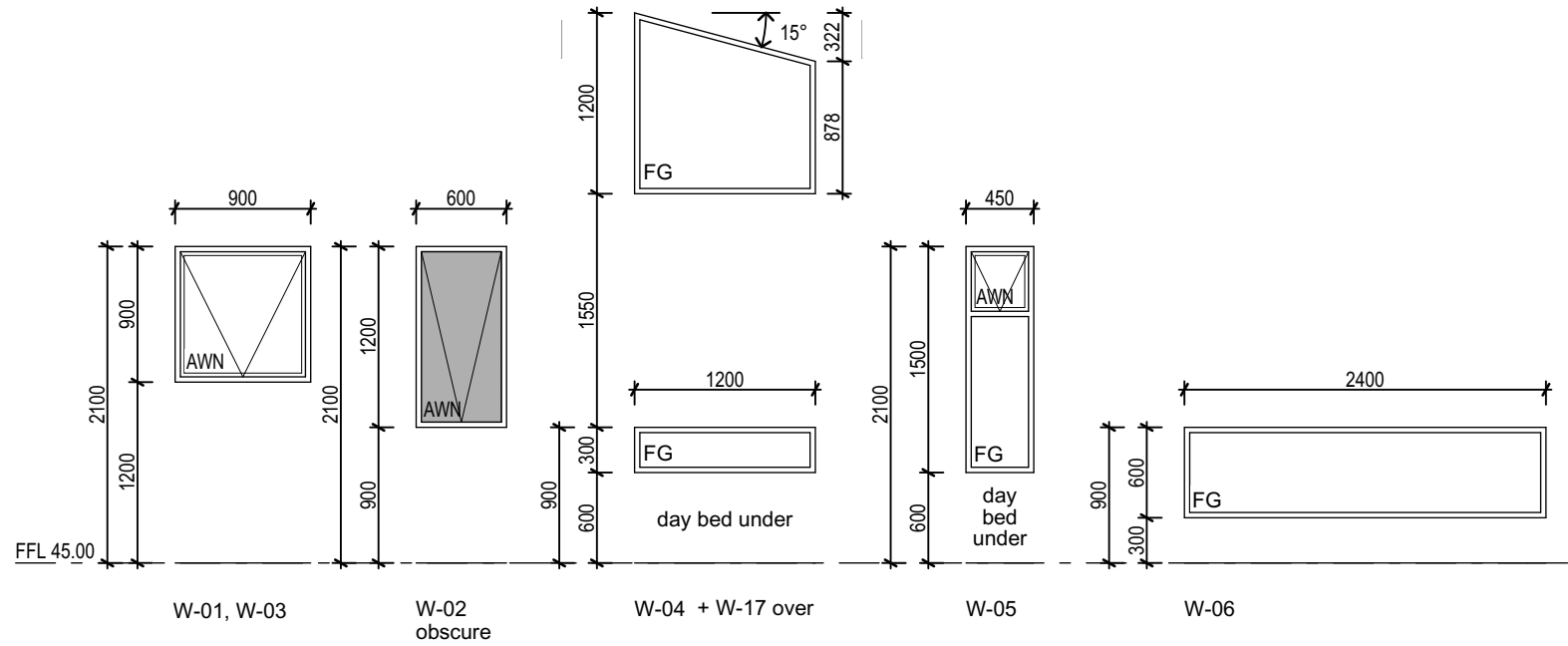
SCREEN SCHEDULE

SCR_1	ROUGH SAWN TAS OAK 90 x 19 natural finish, fixed to PC alum frame (Monument)
SCR_2	TIMBER SCREEN. PAINT FINISH TBA.
SCR_3	TIMBER SCREEN. PAINT FINISH- P1



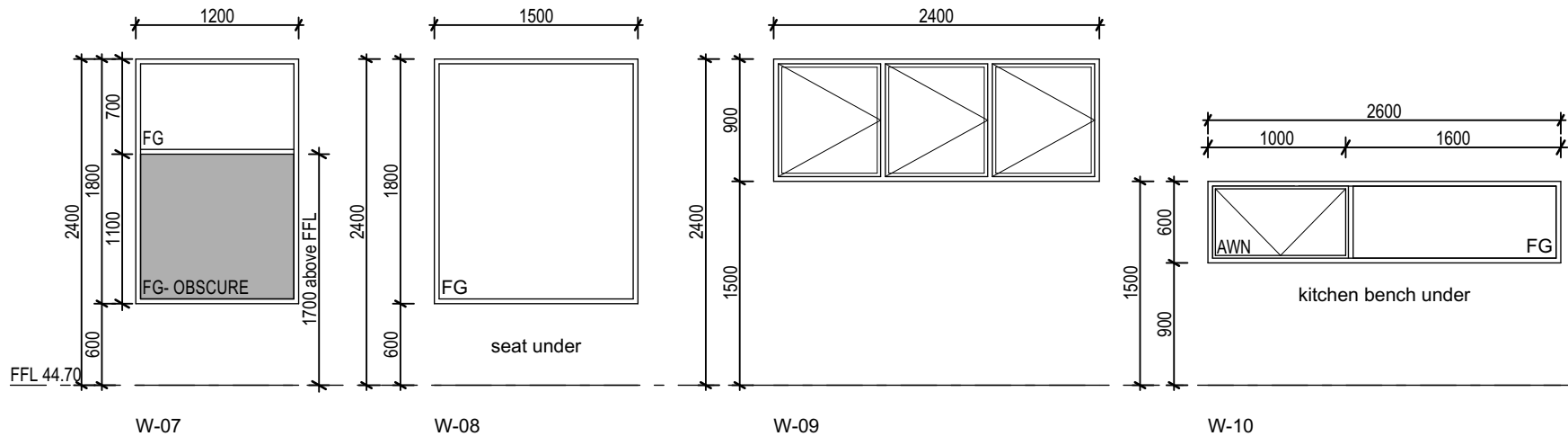


DOOR SCHEDULE
Scale - 1:50

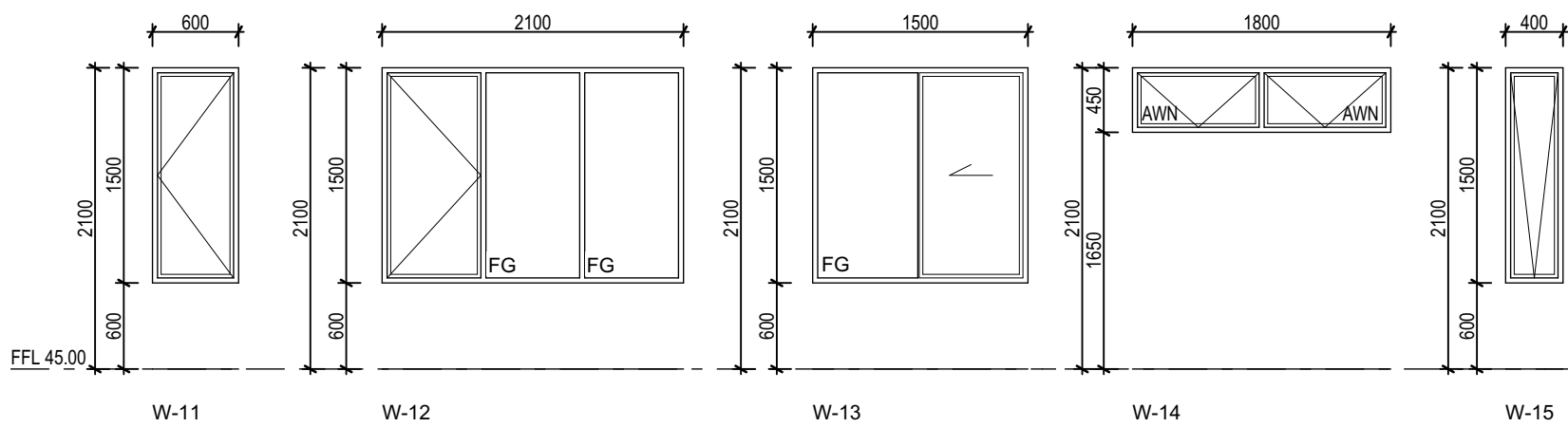


WINDOW SCHEDULE
Scale - 1:50

- NOTES**
- Powdercoated Aluminium to Windows & Sliding Glass Doors (Colour -Matt Monument)
 - All Opening Doors, Windows Sashes & Louvers with Locks and Keyed alike.
 - All Glazing to Conform with Australian Standards & the BCA / NCC.
 - All Glass Louvers to Have 100 Breezeway Max between louvre blades when open.
 - Provide Aluminium Fly Screens to all Sliding Doors, Opening Sashes & Louvers.
 - All Hardware to be Brushed S/Steel or Powdercoated to Match Window Frame Colour
 - Bifold & Sliding Door Hardware to be Brushed S/Steel & Approved Prior to Fabrication of Unit
 - Windows to have Restricted Opening Sash Provided where Required Under NCC. & Aust Standards
 - Lever Latches not Winders
 - Cavity Sliders to have 'CS Doors' Cavity Sliding Tracks & Hardware.
 - Refer to Energy Efficiency Report for all Glazing Requirements for Windows & Doors.
 - Install Deflection Heads, Subsills & Flashings as Required to Aluminium Glazing Systems. Colour Matched to Aluminium Joinery.
 - Doors & Windows are Generally Shown from the Outside of the Building or Room. Refer to the Floorplan for Clarification.
 - *CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND INSTALLATION.
 - *CONFIRM ADJACENT AND INTEGRATED STRUCTURE FOR SIZE AND LOCATION ON SITE.
 - *FABRICATOR TO SUPPLY SHOP DRAWINGS FOR PROPRIETORS APPROVAL PRIOR TO FABRICATION & INSTALLATION.



WINDOW SCHEDULE
Scale - 1:50



WINDOW SCHEDULE
Scale - 1:50

