



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **166 Hazards View Drive, Coles Bay**
CT 143490/37

PROPOSAL: **Single Dwelling, Secondary Residence &**
Outbuilding

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 30 July 2026.

APPLICANT: **Leigh Andrew Gurr**
DATE: **06/02/2026**
APPLICATION NO: **DA 2026 / 020**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:		
Estimated value of works: (design & construction)	\$	
Is the property on the State Heritage Register? (Tick one)	Yes	No

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	05/02/2026
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 143490	FOLIO 37
EDITION 4	DATE OF ISSUE 23-Aug-2025

SEARCH DATE : 05-Feb-2026

SEARCH TIME : 09.23 am

DESCRIPTION OF LAND

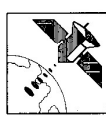
Parish of MEREDITH Land District of GLAMORGAN

Lot 37 on Sealed Plan [143490](#)Derivation : Part of 655 acres Gtd. to S. W. Roberts and
Johnson SinclairPrior CT [139308/104](#)SCHEDULE 1[N269895](#) TRANSFER to LEIGH ANDREW GURR Registered
23-Aug-2025 at 12.01 pmSCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP [143490](#) EASEMENTS in Schedule of EasementsSP [143490](#) COVENANTS in Schedule of EasementsSP [107890](#) SP [139308](#) & SP [143490](#) FENCING COVENANT in Schedule
of EasementsSP [6472](#) FENCING PROVISION in Schedule of EasementsUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER COOROOLINA PTY. LTD.		PLAN OF SURVEY		REGISTERED NUMBER SP143490
FOLIO REFERENCE C.T.139308-104		BY SURVEYOR B.R.WOOLCOTT	LOCATION LAND DISTRICT OF GLAMORGAN PARISH OF MEREDITH	 G. J. WALKEM & CO.
GRANTEE PART OF 655 ACRES GRANTED TO SAMUEL WELLS ROBERTS AND JOHNSON SINCLAIR.		SCALE 1:2000 LENGTHS IN METRES		
MAPSHEET MUNICIPAL CODE No 112 (6033-1121)		LAST UPI No FPB 21	LAST PLAN No P.137325	APPROVED EFFECTIVE FROM 22 APR 2005 <i>Alice Kawa</i> Recorder of Titles



(S.P.139308)
(S.P.6472)

(P.143491 BAL)

27.

28.

29.

30.

31.

32.

33.

34.

35.

36.

37.

100. ROAD

101. ROAD

(S.P.137325)

(S.P.107890)

(S.P.139308)

(S.P.13406)

(S.P.27921)

(S.P.139308)

(S.P.139308)

(S.P.139308)

SWANWICK DRIVE

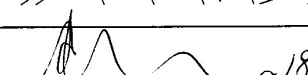
OYSTER BAY

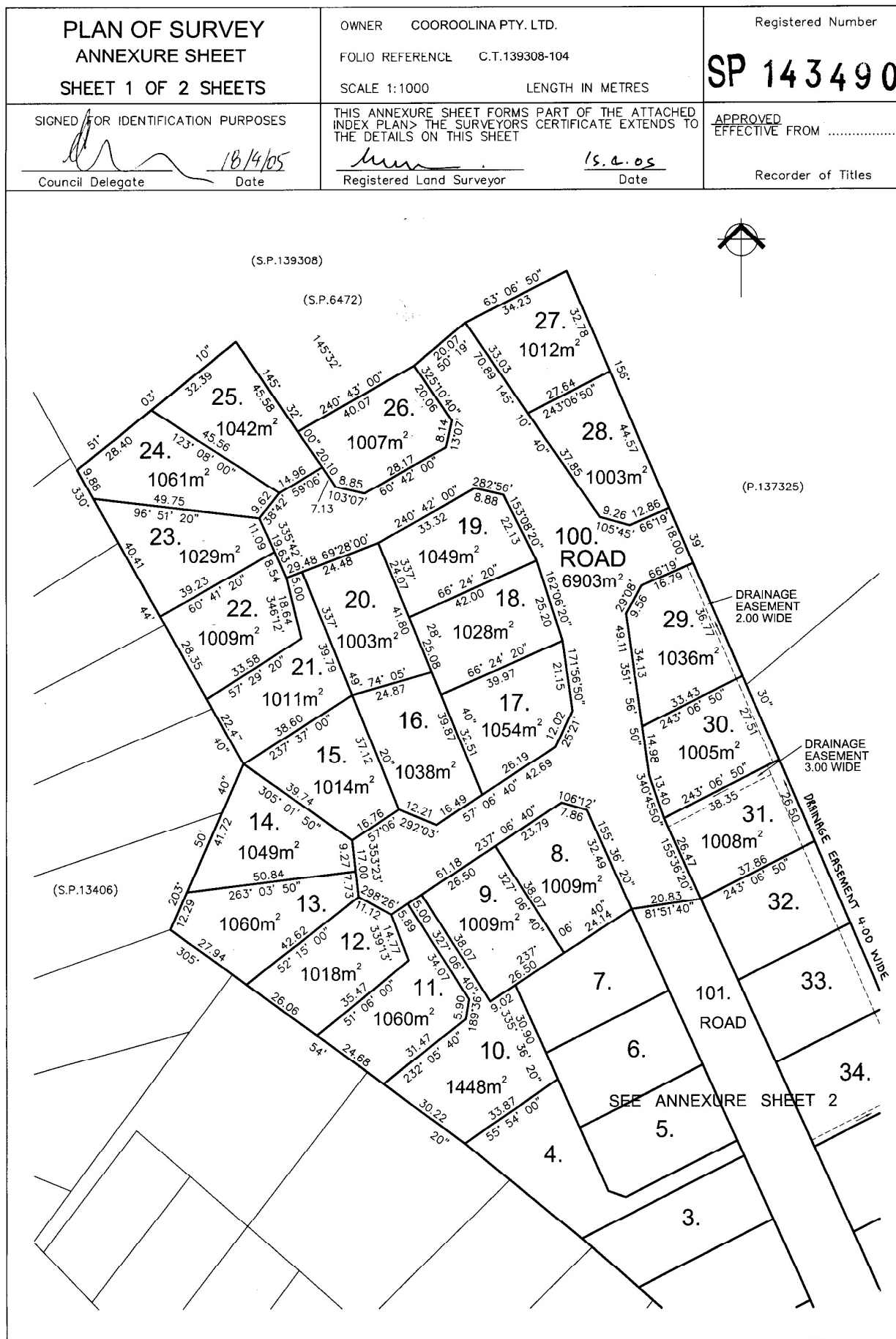
HAZARDS VIEW DRIVE

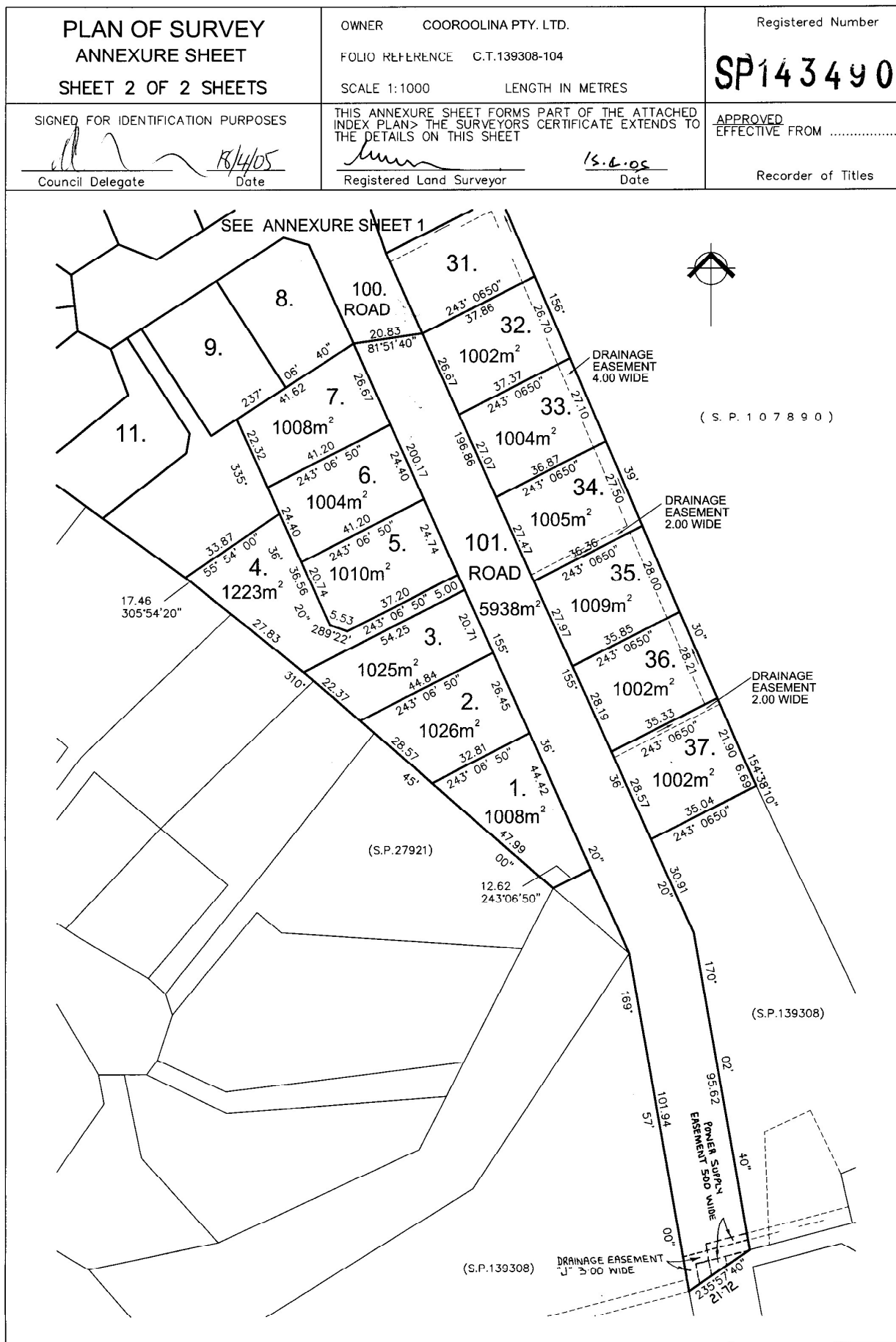
SEE ANNEXURE SHEET 1

SEE ANNEXURE SHEET 2

NORTH


COUNCIL DELEGATE DATE 18/4/05





SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 143490
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PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

COVENANTS

1. The owner of each Lot on the Plan (~~except the balance land~~) covenants with the Vendor (Cooroolina Pty. Ltd.) to the intent that the burden of this covenant shall run with and bind the covenantor's Lot and every part thereof and that the benefit may be annexed to and devolve with each and every other part of every other Lot shown on the Plan to observe the following stipulations:
 - (a) That there shall not be erected on such Lot any buildings other than a private dwelling house and the buildings usually appurtenant thereto.
 - (b) That there shall not be erected on such Lot any dwelling house of a size less than 100 square metres exclusive of outbuildings.
 - (c) Not to permit or allow any building (dwelling or otherwise) to be erected on the premises having outer walls made of second-hand or used materials.
 - (d) That there shall not be erected on such Lot or attached to any dwelling house or any outbuilding any advertisement hoarding bill or poster or any similar erection (except any notice or advertisement in the usual form for the sale or letting of such Lot or any building erected thereon).
 - (e) Not to keep or allow to be kept on such Lot any greyhounds or poultry or any other animals for commercial purposes.
 - (f) Not to permit or allow any engine or machinery worked or driven by steam, gas, electric or other mechanical power and used for any trade operation to be erected, affixed or placed on any part of such Lot.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REF: C.T. 139308-104 SOLICITOR & REFERENCE: Douglas & Collins (G.W. Arnott)	PLAN SEALED BY: Glamorgan Spring Bay Council DATE: 18/3/05 5403007 REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP 143490
SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104	

- (g) Not to carry or permit to be carried on on such Lot or any part thereof any trade or business which may or become a public nuisance or private annoyance nor any noxious trade or business whatsoever.
- (h) Not to construct any "A Frame" style of building (for dwelling or otherwise).
- (i) Not to allow any caravan to be parked upon the Lot or any part thereof for any continuous period of 4 weeks or for any period greater than 6 weeks in any 12 month period.
- (j) Not to place or permit to be placed on such Lot or any part thereof any dwelling that was first constructed or erected on any other land without first ensuring that such dwelling has a new outer wall and roof as soon as practicable after its placement on the Lot.
- (k) Not to allow or permit any dwelling, house or other building constructed upon the property to be of any colour or colour scheme that does not tone in with the landscape setting and general character of the area.
- (l) Not to construct any dwelling of multiple storeys that has as part of the dwelling a storey that is greater than 80% in area of its main storey.
- (m) Not to allow or permit any dwelling house or other building constructed upon the Lot to have any external unpainted reflective surfaces.

~~"Balance land" means that portion of Certificate of Title Volume 139308 Folio 104 which is not comprised in any of Lots 1-37 shown on the Plan.~~

FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor (Cooroolina Pty. Ltd.) that the Vendor shall not be required to fence.

EASEMENTS

Lot 100 and the Council are together with a right of drainage over those parts of Lot 31 marked "Drainage Easement 3.00 wide" and "Drainage Easement 4.00 wide" shown on the Plan.

Lot ¹⁰¹~~200~~ and the Council are together with a right of drainage over those parts of Lots 34 and 37 marked "Drainage Easement 2.00 wide" shown on the Plan

Lot ¹⁰¹~~200~~ and the Council are together with a right of drainage over those parts of Lots 31, 32, 33, 34, 35, and 36 marked "Drainage Easement 4.00 wide" shown on the Plan.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 143490
SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104	

Lot 29 is subject to a right of drainage (appurtenant to Lots 30, 31, 32, 33, 34, 35, 36, 37, 100 and ¹⁰¹~~200~~) over the area marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 30 is together with a right of drainage over that part of Lot 29 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 30 is subject to a right of drainage (appurtenant to Lots 31, 32, 33, 34, 35, 36, 37, 100 and ¹⁰¹~~200~~) over the area marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 31 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 31 is subject to a right of drainage (appurtenant to Lots 32, 33, 34, 35, 36, 37, 100 and ¹⁰¹~~200~~) over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 31 is subject to a right of drainage (appurtenant to Lot 100 and the Council) over that area marked "Drainage Easement 3.00 wide" shown on the Plan.

Lot 32 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 32 is together with a right of drainage over that part of Lot 31 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 32 is subject to a right of drainage (appurtenant to Lots ~~31~~, 33, 34, 35, 36 and 37) ^{and lot 101} over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 33 is together with a right of drainage over those parts of to Lots 31 and 32 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 33 is subject to a right of drainage (appurtenant to Lots ~~31~~, ~~32~~, 34, 35, 36 and 37) ^{and lot 101} over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 33 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 34 is together with a right of drainage over those parts of Lots 31, 32, and 33 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 34 is subject to a right of drainage (appurtenant to Lots ~~31~~, ~~32~~, ~~33~~, 35, 36 and 37) ^{and lot 101} over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SD 143490
SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104	

Lot 34 is subject to a right of drainage (appurtenant to Lot ~~200~~ ¹⁰¹ and the Council) over the area marked "Drainage Easement 2.00 wide".

Lot 34 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 35 is together with a right of drainage over those parts of Lots 31, 32, 33 and 34 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 35 is subject to a right of drainage (appurtenant to Lots ~~31, 32, 33, 34~~ ^{and lot 101} 36 and 37) over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 35 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 36 is together with a right of drainage over those parts of Lots 31, 32, 33, 34, 35 ~~and 37~~ marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 36 is subject to a right of drainage (appurtenant to Lots ~~31, 32, 33, 34, 35~~ ^{and lot 101} and 37) over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 36 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 37 is subject to a right of drainage (appurtenant to Lot ~~200~~ ¹⁰¹ and the Council) over the area marked "Drainage Easement 2.00 wide".

Lot 37 is together with a right of drainage over those parts of Lots 31, 32, 33, 34, 35 and 36 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 37 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

"Council" means the Glamorgan Spring Bay Council.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 5 OF 5 PAGES

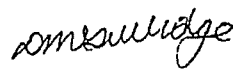
Registered Number

SP 143490

SUBDIVIDER: Cooroolina Pty. Ltd.
FOLIO REFERENCE: C.T. 139308-104

EXECUTED by COOROLINA PTY LTD (the registered proprietor of Certificate of Title Volume 139308 Folio 104 by its attorney GEOFFREY WILLIAM ARNOTT pursuant to Power of Attorney Registered Number 72/6549 (and the said Geoffrey William Arnott declares that he has received no notice of revocation of the said Power) in the presence of:



Witness 

Full name Debbie Marce Gullidge

Address 9-13 George Street, Launceston

Occupation Law Clerk

EASEMENT

Lot 101 on the plan is subject to a Power Supply Easement (appurtenant to Lots 29 to 50 inclusive Lots 103 and 300 on Sealed Plan No.139308) over the Power Supply Easement 5.00 wide shown on the plan.

DEFINITION

In this Schedule of Easements "Power Supply Easement" means the right to erect any pole or line of poles for the suspension thereon and or lay on or below the surface within the area marked — — — — — Power Supply Easement 5.00 Wide — — on the Plan any cable, wire conductor or apparatus for the transmission or distribution of electrical energy including the right to enter into and upon the said easement for the purpose of inspecting, cleaning, repairing, maintaining, removing or renewing the same and to carry out all necessary work thereon causing as little damage as possible and making good all damage done under or caused thereby.

Lot 101 is subject to a Right of Drainage (appurtenant to Lots 29 to 40 inclusive on Sealed Plan No.139308 and the council) over the that portion of the Drainage Easement "J" 3.00 wide shown on the Plan.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PROJECT INFO
PROJECT ADDRESS: 166 HAZARDS VIEW DR,
COLES BAY 7215
OWNER NAME: L GURR
LAND TITLE REFERENCE: FOLIO 37 VOLUME 143490
PROPERTY ID: 2602697
PROJECT DESCRIPTION: PROPOSED RESIDENCE, ANCILLARY
DWELLING AND PREFABRICATED SHED
COUNCIL NAME: GLAMORGAN-SPRING BAY
BAL REPORT REF. : 12.5

DESIGNER DETAILS
DESIGNER NAME & LICENCE NO.: BEN LAUGHLIN LIC #
086400157
BUSINESS NAME & CONTACT DETAILS:AJM DRAFTING
SERVICES PH: 0417669317 E: ben@ajmdrafting.com.au

GENERAL NOTES
BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
BOUNDARY/SETBACK INFO INDICATIVE ONLY
READ WITH ALL ENGINEERING DOCUMENTS
UNDERGROUND SERVICES TO BE CONFIRMED
BAL REPORT TAKES PRECEDENCE (IF APPLICABLE)
SHED CONSTRUCTION PLANS PROVIDED BY SHED SUPPLIER

PROJECT DATA
SITE CLASSIFICATION H1(TASMAN GEOTECHNICS)
CLIMATE ZONE 7
BAL RATING 12.5 (RED DOG)
STORMWATER METHOD RETENTION

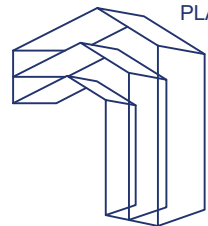
AREA SCHEDULE

SITE AREA:	1002m²
PROPOSED RESIDENCE	121.34m²
PROPOSED VERANDAH	13.9m²
PROPOSED SHED	80m²
PROPOSED ANCILLARY DWELLING	51.6m²

DRAWING SCHEDULE

<u>1. COVER PAGE</u>
<u>2. SITE PLAN</u>
<u>3. SITE LEVELS</u>
<u>4. RESIDENCE FLOOR PLAN</u>
<u>5. RESIDENCE WINDOW PLAN</u>
<u>6. SHED & RESIDENCE ELEVATIONS</u>
<u>7. RESIDENCE ELEVATIONS</u>
<u>8. SHED AMENITIES PLANS</u>
<u>9. WATERPROOFING</u>
<u>10. WATREPROOFING</u>
<u>11. ANCILLARY FLOOR PLAN</u>
<u>12. RESIDENCE AND ANCILLARY ELEVATIONS</u>
<u>13. ANCILLARY ELEVATIONS</u>
<u>14. SHADOW PLAN JUNE</u>
<u>15. SHADOW PLAN DEC.</u>

CURRENT FILE NAME:
166HazardsCouncilAnc3



PLANS by:
AJM Drafting Services
ABN: 98 602 040 886
154 TARLETON ROAD, TARLETON
Ph: 0417 669 317 E: ben@ajmdrafting.com.au

THESE DRAWINGS ARE A GUIDE ONLY AND MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS, WHICH MAY OVERRIDE THESE DOCUMENTS.

ALL DIMENSIONS, LEVELS, AND DETAILS MUST BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORKS, ENSURING ALL DOCUMENTATION IS FOLLOWED, AND THAT CONSTRUCTION COMPLIES WITH THE NCC, RELEVANT AUSTRALIAN STANDARDS, AND STATUTORY REQUIREMENTS.

NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR ERRORS OR OMISSIONS RESULTING FROM FAILURE TO CHECK DOCUMENTATION OR SEEK CLARIFICATION BEFORE WORKS COMMENCE.

PROPOSED RESIDENCE,
ANCILLARY DWELLING
AND PREFABRICATED
SHED
FOR: L GURR
AT: 166 HAZARDS VIEW DR,
COLES BAY 7215

DATE PUBLISHED: 29/06/26
SCALE: 1:100
PAPER: A3
JOB No.: 166HAZ

DRAWING:
COVER PAGE

THE NOMINATED ONSITE WASTEWATER DISPOSAL AREA SHOWN ON THIS DRAWING HAS BEEN INCLUDED FOR COORDINATION PURPOSES ONLY AND IS BASED ON THE APPROVED ONSITE WASTEWATER DESIGN REPORT.

THE DESIGN, SIZING, LOCATION, INSTALLATION AND CERTIFICATION OF THE ONSITE WASTEWATER SYSTEM ARE THE RESPONSIBILITY OF THE AUTHOR OF THE WASTEWATER DESIGN REPORT. THIS DRAWING DOES NOT FORM PART OF THE WASTEWATER DESIGN.

LEGEND & NOTES

WATER MAIN	
SEWER	
BOUNDARY	
STORMWATER	
FIRE TANK	

SITE PLAN NOTES

ALL WORKS TO COMPLY WITH THE NCC 2022, RELEVANT AUSTRALIAN STANDARDS, TASMANIAN DIRECTOR'S DETERMINATIONS, STATUTORY AUTHORITY REQUIREMENTS AND LOCAL COUNCIL CONDITIONS OF APPROVAL.

BOUNDARIES, CONTOURS, EXISTING STRUCTURES, SERVICES AND OTHER SITE INFORMATION ARE INDICATIVE ONLY. NO CADASTRAL OR ENGINEERING SURVEY HAS BEEN PROVIDED. ALL INFORMATION SHOWN IS BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF PREPARATION AND MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS.

THE BUILDER IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, LEVELS, SETOUT, FINISHED FLOOR LEVELS, PROPERTY BOUNDARIES AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER FROM THE PROPOSED DEVELOPMENT SHALL DISCHARGE TO THE NOMINATED ONSITE WATER TANKS UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.

CUT AND FILL BATTERS SHALL NOT EXCEED A MAXIMUM SLOPE OF 1 VERTICAL TO 2 HORIZONTAL UNLESS DESIGNED OR CERTIFIED BY A SUITABLY QUALIFIED STRUCTURAL OR GEOTECHNICAL ENGINEER.

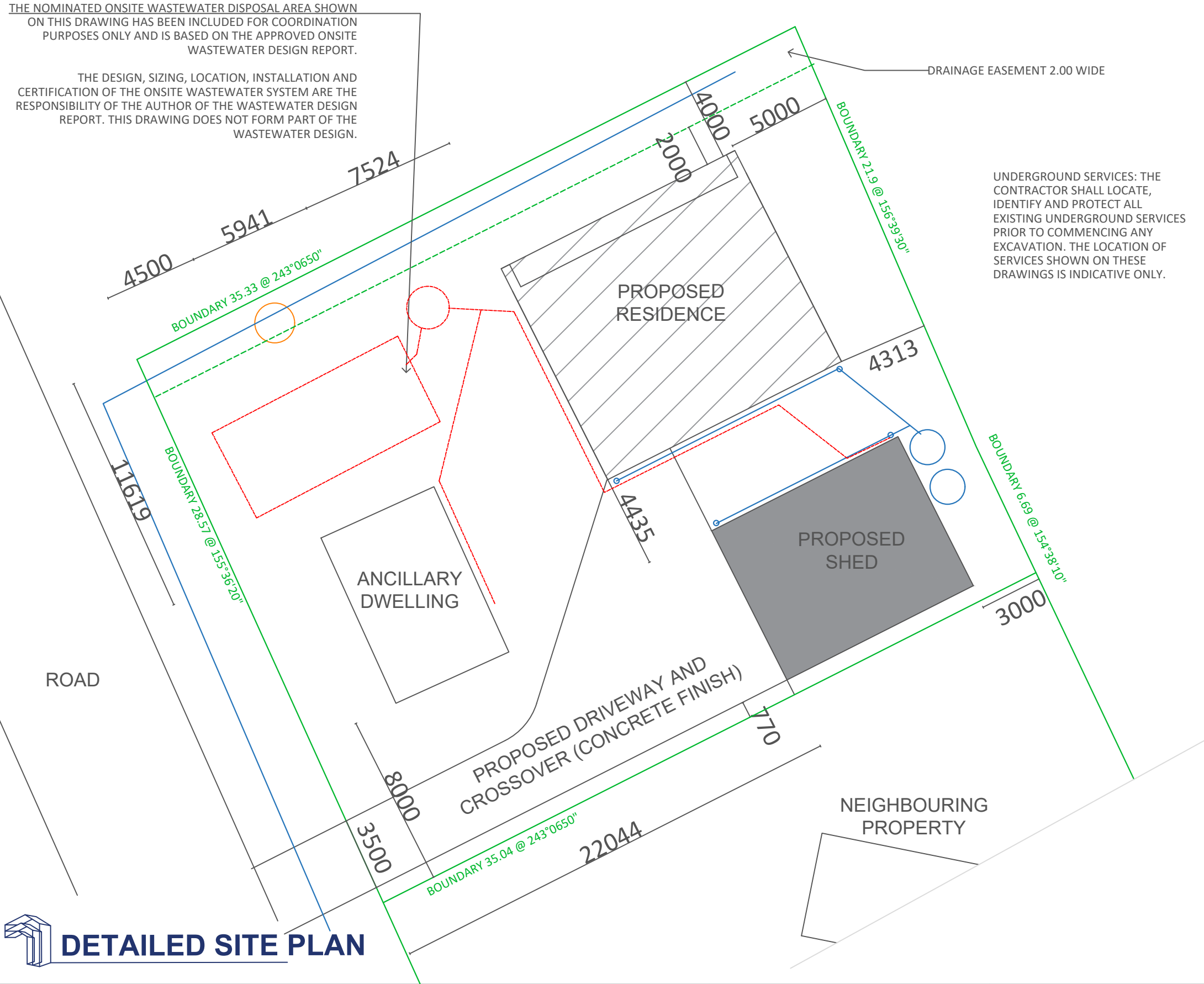
ALL DRIVEWAYS, VEHICLE CROSSOVERS AND WORKS WITHIN THE ROAD RESERVE ARE SUBJECT TO THE APPROVAL AND REQUIREMENTS OF THE RELEVANT ROAD AUTHORITY.

UNDERGROUND ELECTRICAL, TELECOMMUNICATIONS, WATER, SEWER, STORMWATER, GAS AND OTHER SERVICES MAY EXIST WITHIN OR ADJACENT TO THE SITE. THE LOCATION OF ALL EXISTING SERVICES SHALL BE VERIFIED BEFORE COMMENCING ANY EXCAVATION OR CONSTRUCTION WORKS.

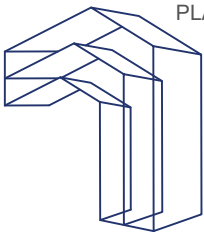
WHERE INFORMATION HAS BEEN PROVIDED BY TASNETWORKS OR OTHER SERVICE AUTHORITIES, IT IS INDICATIVE ONLY AND MUST NOT BE RELIED UPON AS THE EXACT LOCATION OF UNDERGROUND ASSETS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING SERVICES AND SHALL OBTAIN ALL REQUIRED SERVICE LOCATIONS, PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORKS.

ANY DISCREPANCIES BETWEEN THE DRAWINGS, SITE CONDITIONS OR EXISTING SERVICES SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORKS.

CURRENT FILE NAME:
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DETAILED SITE PLAN



PLANS by:
AJM Drafting Services
ABN: 98 602 040 886
154 TARLETON ROAD, TARLETON
Ph: 0417 669 317 E: ben@ajmdrafting.com.au

IMPORTANT NOTE – CONTRACTOR RESPONSIBILITIES BEFORE COMMENCING ANY WORKS, THE CONTRACTOR MUST ENSURE THAT:

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REVISION:

CHECKED AGAINST
DIRECTOR'S DETERMINATION
REQUIREMENTS



PROPOSED RESIDENCE,
ANCILLARY DWELLING
AND PREFABRICATED
SHED
FOR: L GURR
AT: 166 HAZARDS VIEW DR,
COLES BAY 7215

DATE PUBLISHED: 29/06/26
SCALE: 1:200
PAPER: A3
JOB No.: 166HAZ

DRAWING:
SITE PLAN



LEGEND & NOTES

LOW LANDSLIP	
RECORDED HEIGHTS	
CONTOURS	
EXISTING FENCE	
TELSTRA AND POWER	

EXISTING SITE LEVELS, SPOT LEVELS AND CONTOURS SHOWN ON THIS DRAWING ARE BASED ON ON-SITE MEASUREMENTS AND THE BEST AVAILABLE INFORMATION AT THE TIME OF PREPARATION. THEY ARE PROVIDED FOR PLANNING, DESIGN COORDINATION AND GENERAL HEIGHT ANALYSIS PURPOSES ONLY.

LEVELS ARE SHOWN RELATIVE TO AN ASSUMED DATUM UNLESS NOTED OTHERWISE AND ARE INTENDED TO ASSIST IN THE ASSESSMENT OF BUILDING HEIGHTS, SITE GRADIENTS, BUILDING ENVELOPE COMPLIANCE, FINISHED FLOOR LEVELS AND THE PROPOSED RELATIONSHIP OF THE DEVELOPMENT TO THE EXISTING GROUND.

THIS DRAWING IS NOT A FEATURE SURVEY, CONTOUR SURVEY OR CADASTRAL SURVEY AND MUST NOT BE RELIED UPON FOR BOUNDARY IDENTIFICATION, LEGAL PURPOSES OR CONSTRUCTION SET-OUT.

THE BUILDER IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, LEVELS, PROPERTY BOUNDARIES, SITE CONDITIONS AND FINISHED FLOOR LEVELS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SITE CONDITIONS SHALL BE REPORTED TO AJM DRAFTING SERVICES BEFORE COMMENCEMENT OF WORKS.

MINOR VARIATIONS IN EXISTING GROUND LEVELS MAY OCCUR DUE TO SURVEY TOLERANCES, SITE CONDITIONS OR SUBSEQUENT EARTHWORKS.

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 SITE LEVELS



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DRAWING:
**EXISTING
SITE
LEVELS
PLAN 03**



FLOOR PLAN NOTES & KEY

BRICK VENEER WALL (110B X 40C X 90W) [Symbol]

EXTERNAL CLADDIED WALL WITH 20mm VENTILATION GAP (90W X 20C X 20CL) [Symbol]

INTERNAL WALL (90mm) [Symbol]

WINDOWS [Symbol]

FLOOR PLAN NOTES

ALL WORKS TO COMPLY WITH NCC, ABCB HOUSING PROVISIONS, AUSTRALIAN STANDARDS AND TAS DIRECTOR'S DETERMINATIONS.

BUILDER TO VERIFY ALL DIMENSIONS, LEVELS AND EXISTING CONDITIONS ON SITE PRIOR TO COMMENCEMENT. DO NOT SCALE FROM DRAWINGS.

ALL DIMENSIONS SHOWN TO STRUCTURAL FRAMING UNLESS NOTED OTHERWISE. OPENINGS, FIXTURES AND WALL SETOUTS MUST BE CONFIRMED ON SITE.

FINISHED FLOOR LEVELS TO MATCH APPROVED SETOUT AND SITE PLAN. STRUCTURAL WALLS, LINTELS AND BEAMS TO BE INSTALLED PER ENGINEER'S DESIGN.

WET AREAS TO COMPLY WITH AS 3740. REFER TO WATERPROOFING PLAN FOR DETAILS.

ALL PLUMBING TO COMPLY WITH AS 3500. ALL ELECTRICAL WORK TO AS/NZS 3000.

SMOKE ALARMS TO NCC PART 3.7.5 & TAS DETERMINATION: 240V, INTERCONNECTED, AND LOCATED AS REQUIRED BY THE NCC. LOCATIONS TO BE CONFIRMED ON SITE.

DRAWINGS TO BE READ WITH ENGINEERING AND OTHER CONSULTANT DOCUMENTS.

AJM DRAFTING SERVICES ACCEPTS NO RESPONSIBILITY FOR UNVERIFIED CONDITIONS OR UNAUTHORISED PLAN MODIFICATIONS.

RESIDENCE FLOOR PLAN

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PRODUCTS AND MATERIALS SPECIFIED ARE CONFIRMED WITH THE OWNER PRIOR TO INSTALLATION.

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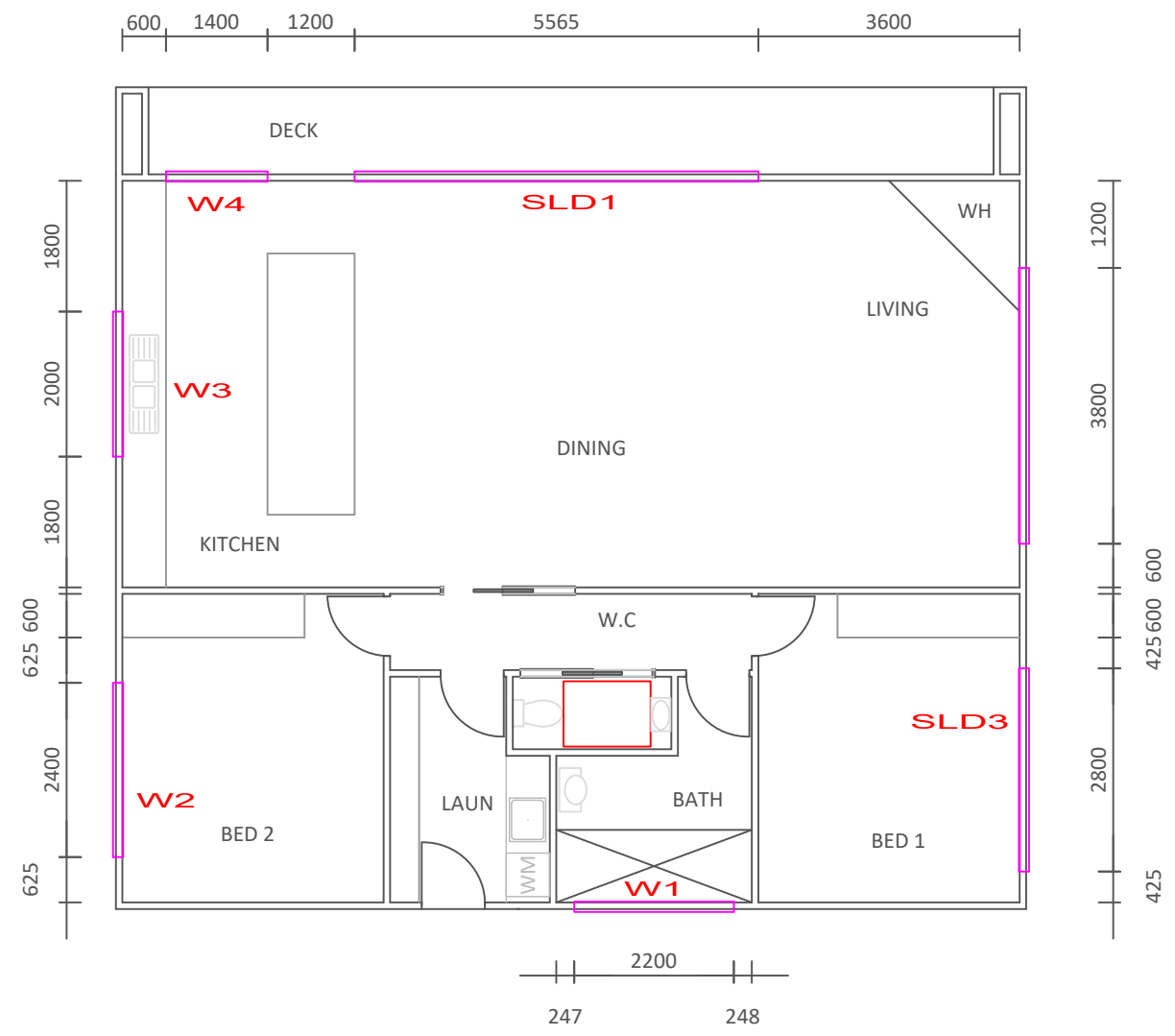
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PAPER: A3

JOB No.: 166HAZ

DRAWING:

RESIDENCE
FLOOR PLAN



RESIDENCE WINDOW SET OUT PLAN

WINDOW & DOOR NOTES

ALL WINDOWS AND GLAZING SHALL COMPLY WITH NCC 2022, AS 1288 AND BE CERTIFIED TO AS 2047. INSTALLATION TO COMPLY WITH MANUFACTURER REQUIREMENTS AND NCC PART 10.6.3.

IN BUSHFIRE PRONE AREAS, WINDOWS AND GLAZING SHALL COMPLY WITH AS 3959 AND THE PROJECT BAL REPORT. BUILDER TO VERIFY BAL REQUIREMENTS PRIOR TO ORDER AND INSTALLATION.

WINDOW AND DOOR SIZES SHOWN ARE INDICATIVE ONLY. FINAL SIZES TO BE CONFIRMED WITH WINDOW MANUFACTURER AND COORDINATED WITH STRUCTURAL OPENINGS, LINTELS AND STUD SPACING.

BUILDER TO VERIFY ALL WINDOW AND DOOR LOCATIONS, SILL HEIGHTS AND HEAD HEIGHTS ON SITE PRIOR TO INSTALLATION. ANY DISCREPANCIES TO BE REPORTED BEFORE FABRICATION OR INSTALLATION.

HEAD, JAMB AND SILL FLASHINGS TO BE PROVIDED TO ALL EXTERNAL OPENINGS WHERE MOISTURE INGRESS MAY OCCUR. FLASHINGS, SEALANTS AND WEATHERPROOFING TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, NCC AND AS 4654.2 WHERE APPLICABLE.

WINDOW INSTALLATION SHALL MAINTAIN THE CONTINUITY OF THE WEATHERPROOFING AND AIR SEAL BARRIER, INCLUDING WRB, SARKING AND CAVITY SYSTEMS.

LIVABLE HOUSING REQUIREMENTS

WHERE LIVABLE HOUSING PROVISIONS APPLY (TAS – OCTOBER 2025):

- MAIN ENTRY DOOR TO PROVIDE A MINIMUM 820 MM CLEAR OPENING.
- THRESHOLDS TO MAIN ENTRY DOOR TO BE DESIGNED TO ACCOMMODATE STEP-FREE ACCESS WHERE REQUIRED BY APPROVED DESIGN.
- BATHROOM WALL FRAMING TO PROVIDE REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION (LOCATION AND HEIGHT TO NCC PART G7/H8).

WINDOW AND GLASS SCHEDULE

ROOM	No.	W	H	AREA	GLASS VALUES	GLASS	WINDOW TYPE	ORIENT	SHADE
BATH	W1	2.2	0.6	1.32	Uval: 4.1, Shgc: 0.57	FROSTED	BY OWNER	S	0
BED2	W2	2.4	1.8	4.32	Uval: 4.1, Shgc: 0.57	CLEAR DOUBLE GLAZED	BY OWNER	E	0
KITCH	W3	2	0.7	1.4	Uval: 4.1, Shgc: 0.57	CLEAR DOUBLE GLAZED	BY OWNER	E	0
KITCH	W4	1.4	1.8	2.52	Uval: 4.1, Shgc: 0.57	CLEAR DOUBLE GLAZED	BY OWNER	N	1.2
DINING	SLD1	5.565	2.1	11.6865	Uval: 4.1, Shgc: 0.57	CLEAR DOUBLE GLAZED	BY OWNER	N	1.2
LIV	SLD2	3.8	2.1	7.98	Uval: 4.1, Shgc: 0.57	CLEAR DOUBLE GLAZED	BY OWNER	E	0
BED1	SLD3	2.8	2.1	5.88	Uval: 4.1, Shgc: 0.57	CLEAR DOUBLE GLAZED	BY OWNER	E	0

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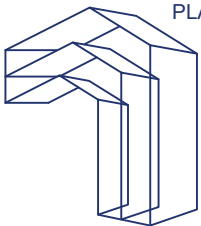
PAPER: A3

JOB No.: 166HAZ

DRAWING:

RESIDENCE
WINDOW SET
OUT PLAN

05



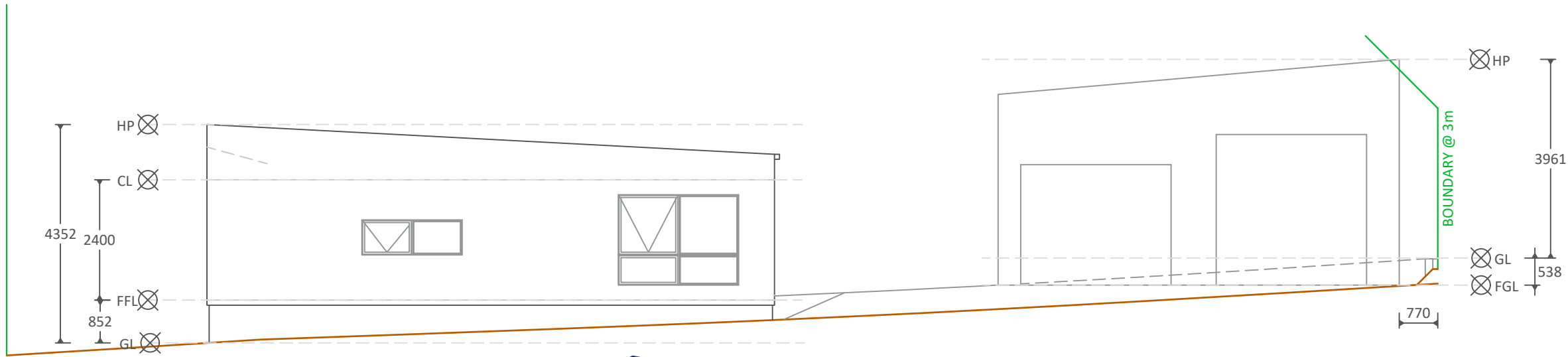
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**SOUTH WEST
ELEVATION**

ELEVATION NOTES AND KEY

FFL = FINISHED FLOOR LEVEL
FGL = FINISHED GROUND LEVEL
NGL = NATURAL GROUND LEVEL
CL = CEILING LEVEL
HP = HIGHEST POINT

ALL ELEVATIONS TO BE READ IN CONJUNCTION WITH FLOOR PLANS, SECTIONS AND WINDOW AND DOOR SCHEDULES. ALL WORK TO COMPLY WITH NCC 2022, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

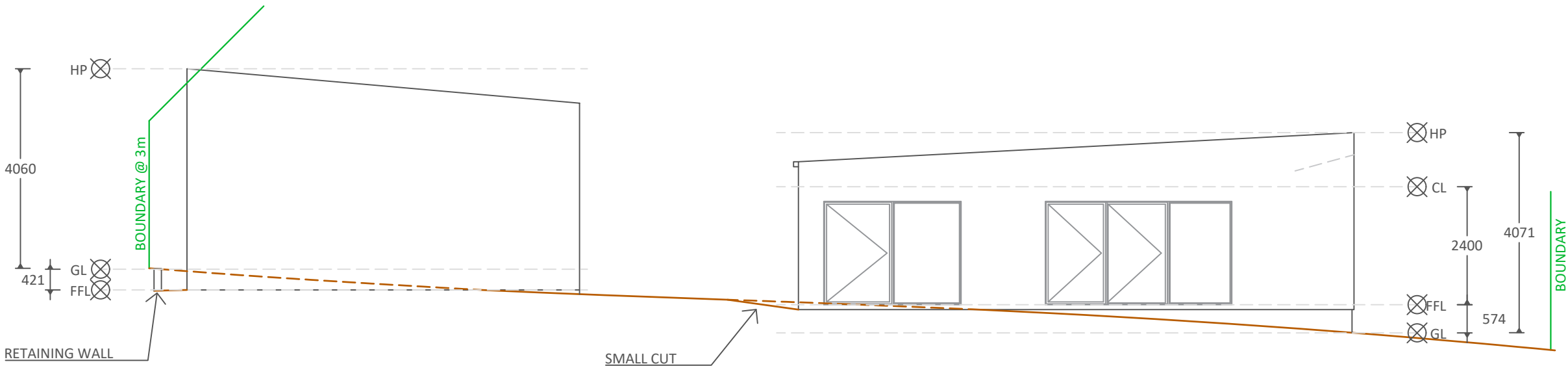
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EXTERNAL CLADDING, ROOFING AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, BAL REQUIREMENTS AND NCC PART 3.5. FLASHINGS TO BE PROVIDED TO ALL OPENINGS AND JUNCTIONS TO PREVENT WATER INGRESS.

WINDOW AND DOOR SIZES, TYPES AND HEAD/SILL HEIGHTS TO BE READ WITH THE WINDOW AND DOOR SCHEDULE. SAFETY GLAZING TO COMPLY WITH AS 1288. FALL PREVENTION REQUIREMENTS APPLY WHERE SILL HEIGHTS ARE LESS THAN NCC MINIMUMS.

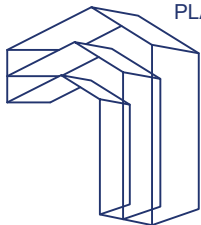
INSULATION, VAPOUR CONTROL AND CONDENSATION MANAGEMENT TO COMPLY WITH NCC 2022 AND THE TASMANIAN "CONDENSATION IN BUILDINGS" DESIGNER GUIDE.

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**NORTH EAST
ELEVATION**

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166HazardsCouncilAnc3



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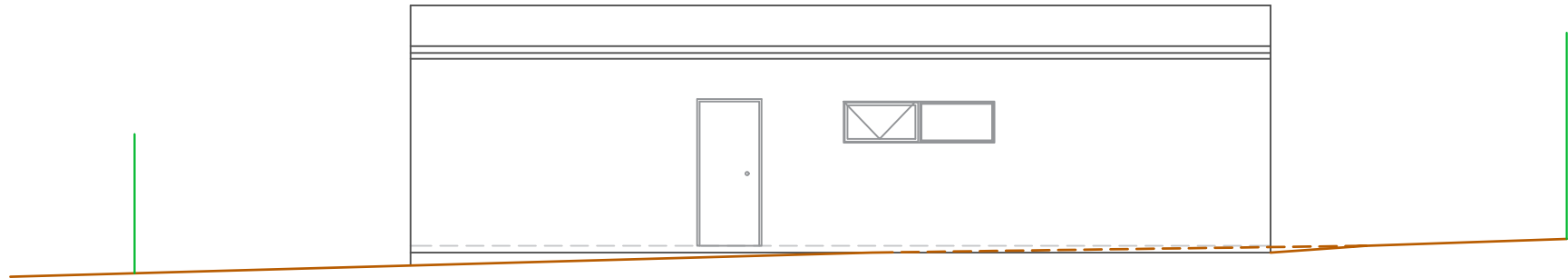
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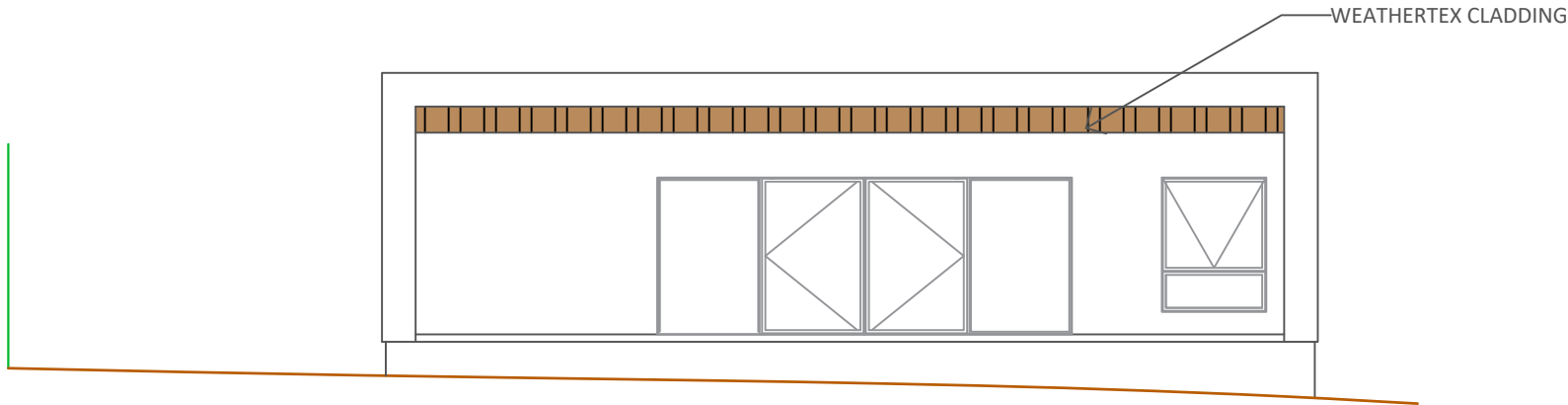
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DRAWING:

**RESIDENCE
AND SHED
ELEVATIONS
06**



 **SOUTH EAST
ELEVATION**



 **NORTH WEST
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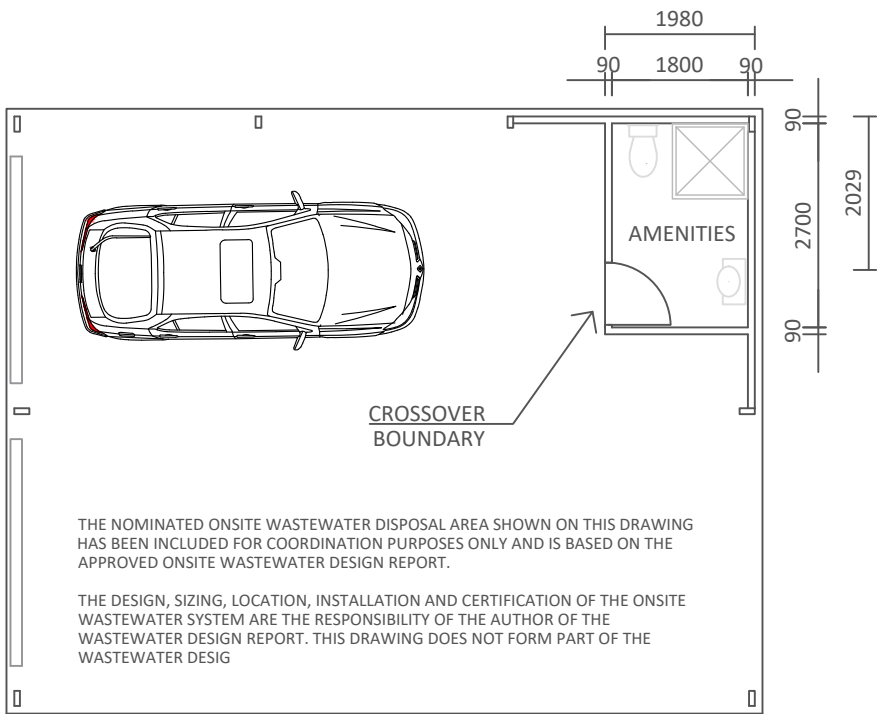
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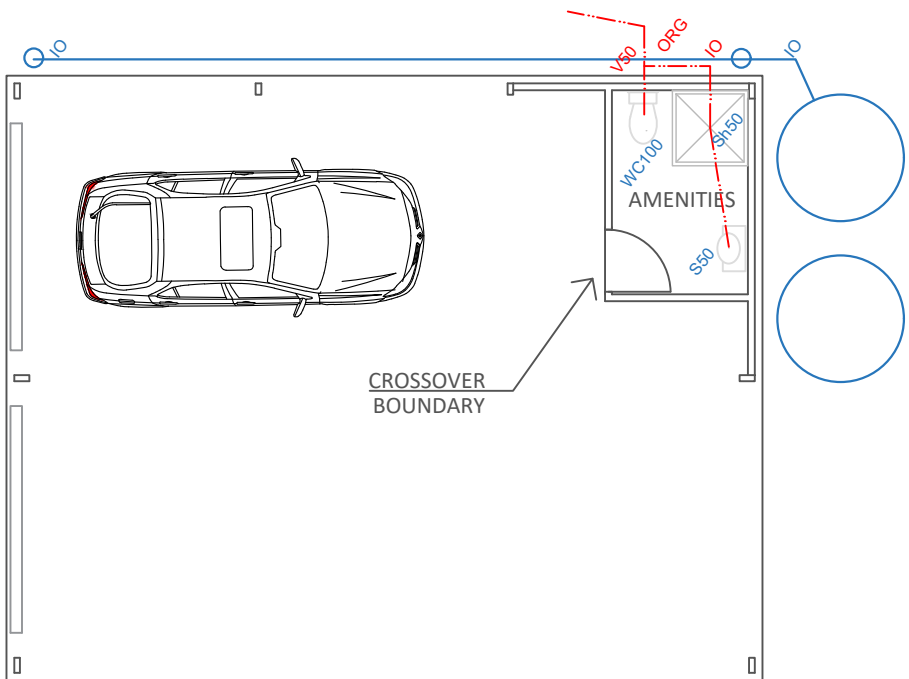
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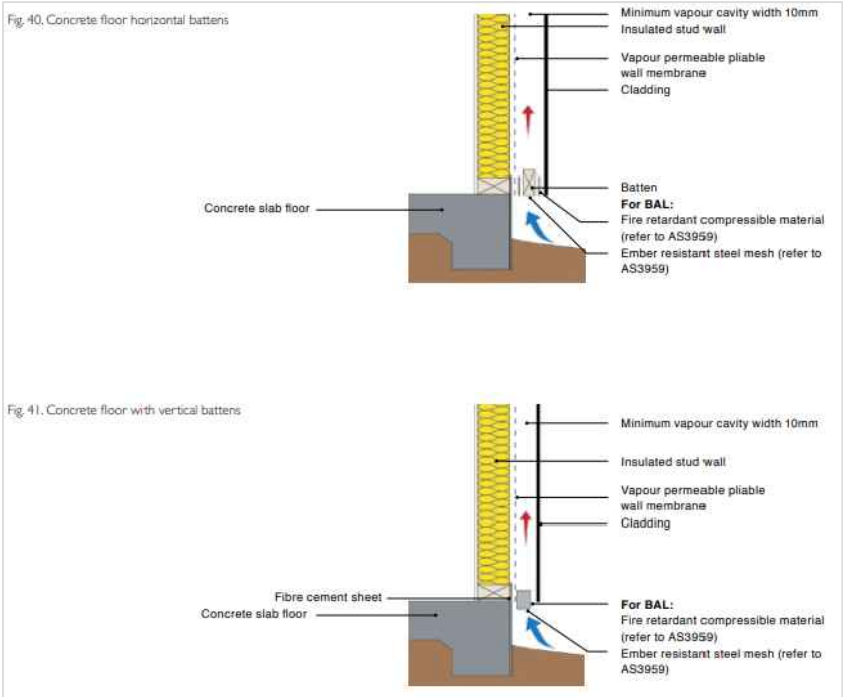
07



SHED FLOOR PLAN



SHED DRAINAGE PLAN



WALL CONDENSATION MGMT

- DRAINAGE NOTES – CLASS 10A SHED
- ALL SANITARY AND STORMWATER DRAINAGE TO COMPLY WITH NCC 2022 AND AS/NZS 3500
- ALL PLUMBING WORK TO BE CARRIED OUT BY A LICENSED PLUMBER
- SANITARY FIXTURES TO DISCHARGE TO THE APPROVED ON-SITE WASTEWATER TREATMENT SYSTEM
- PROVIDE SANITARY VENTING TO ATMOSPHERE IN ACCORDANCE WITH AS/NZS 3500.2
- PROVIDE OVERFLOW RELIEF GULLY (ORG) EXTERNAL TO THE BUILDING IN ACCORDANCE WITH AS/NZS 3500.2, MIN. 150 MM BELOW LOWEST INTERNAL FIXTURE
- PROVIDE INSPECTION OPENINGS AT ALL MAJOR BENDS AND JUNCTIONS
- FLOOR WASTE TO SHOWER AREA. WET AREA WATERPROOFING TO COMPLY WITH AS 3740
- ROOF STORMWATER TO DISCHARGE VIA GUTTERS AND DOWNPIPES TO ON-SITE RAINWATER TANKS
- PROVIDE TANK OVERFLOW TO A LAWFUL POINT OF DISCHARGE AWAY FROM BUILDING FOOTINGS
- STORMWATER SYSTEM TO COMPLY WITH AS/NZS 3500.3
- CONTRACTOR TO VERIFY ALL LEVELS, FALLS AND CONNECTION POINTS ON SITE
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY CLASSIFICATION SHALL REQUIRE SEPARATE PLANNING AND BUILDING APPROVAL

PLUMBING KEY AND SCHEDULE			
	FIXTURE	KEY	DRAINAGE
	BASIN	B40	40mm Ø
	SINK	S50	50mm Ø
	SHOWER	Sh50	50mm Ø
	BATH	Bth40	40mm Ø
	TOILET	WC100	100mm Ø
	TROUGH	Tr50	50mm Ø
	VENT	V50	50mm Ø
INSPECTION OUTLET	IO		
DOWNPIPE	DP		○
OVERFLOW RELIEF GULLY	ORG		
STORMWATER	←←←←←		
SEWER LINE	- - - - -		

- GENERAL SHED NOTES – CLASS 10A BUILDING CLASSIFICATION & USE
- BUILDING IS CLASSIFIED AS CLASS 10A IN ACCORDANCE WITH NCC 2022
- SHED IS TO BE USED FOR VEHICLE AND BOAT STORAGE ONLY
- NO HABITABLE ROOMS ARE PROPOSED OR APPROVED
- BUILDING IS NOT INTENDED FOR RESIDENTIAL OCCUPATION
- AMENITIES (NON-HABITABLE)
- AMENITIES ROOM PROVIDED TO SERVICE THE USE OF THE SHED ONLY
- AMENITIES ROOM IS NON-HABITABLE AND DOES NOT CONSTITUTE A CLASS 1 SPACE
- LIVEABLE HOUSING PROVISIONS UNDER NCC PART H8 / G7 DO NOT APPLY
- ACCESSIBLE CIRCULATION SPACES ARE NOT REQUIRED
- WALL REINFORCEMENT FOR FUTURE GRAB RAILS IS NOT REQUIRED
- STRUCTURE & ENGINEERING
- ALL STRUCTURAL ELEMENTS INCLUDING FOOTINGS, SLAB, FRAMING, BRACING, CONNECTIONS AND TIE-DOWN SYSTEMS SHALL BE IN ACCORDANCE WITH THE CERTIFIED SHED MANUFACTURER'S ENGINEERING DOCUMENTATION
- SHED MANUFACTURER'S ENGINEERING DRAWINGS TAKE PRECEDENCE OVER THESE DRAWINGS
- ANY DISCREPANCY SHALL BE REFERRED TO THE SHED MANUFACTURER / ENGINEER PRIOR TO CONSTRUCTION
- NO STRUCTURAL MODIFICATIONS PERMITTED WITHOUT WRITTEN ENGINEER APPROVAL
- SLAB & FOOTINGS
- SLAB AND FOOTINGS TO BE DESIGNED, SUPPLIED AND CERTIFIED BY THE SHED MANUFACTURER'S ENGINEER
- FOOTINGS SHALL BE FOUNDED ON APPROVED NATURAL MATERIAL
- HOLD-DOWN BOLTS, EMBEDMENTS AND EDGE THICKENINGS TO BE INSTALLED STRICTLY IN ACCORDANCE WITH ENGINEERING DETAILS
- WALLS, ROOF & CLADDING
- WALL AND ROOF FRAMING TO COMPLY WITH SHED MANUFACTURER SPECIFICATIONS
- CLADDING, ROOFING, FLASHINGS AND FIXINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS
- ALL MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION DETAILS
- PLUMBING & AMENITIES
- PLUMBING AND DRAINAGE TO COMPLY WITH NCC AND AS/NZS 3500
- FLOOR WASTE TO BE PROVIDED TO SHOWER AREA
- WET AREA WATERPROOFING TO COMPLY WITH AS 3740
- ALL SANITARY FIXTURES TO BE INSTALLED BY A LICENSED PLUMBER
- ELECTRICAL
- ALL ELECTRICAL WORK TO BE CARRIED OUT BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH AS/NZS 3000
- FIRE & SAFETY
- NO FIRE SEPARATION OR SMOKE ALARMS REQUIRED FOR A CLASS 10A BUILDING UNLESS OTHERWISE DIRECTED BY THE BUILDING SURVEYOR
- ANY BUSHFIRE REQUIREMENTS (IF APPLICABLE) SHALL COMPLY WITH THE CERTIFIED BAL REPORT AND NCC
- GENERAL CONSTRUCTION
- ALL WORKMANSHIP AND MATERIALS TO COMPLY WITH NCC 2022 AND RELEVANT AUSTRALIAN STANDARDS
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY
- OPTIONAL (RECOMMENDED)
- ANY FUTURE CHANGE OF USE OR CONVERSION TO A HABITABLE OR RESIDENTIAL CLASSIFICATION SHALL REQUIRE SEPARATE PLANNING AND BUILDING APPROVAL

CURRENT FILE NAME:
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PLANS by:

AJM Drafting Services

ABN: 98 602 040 886

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REVISION:

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PROPOSED RESIDENCE, ANCILLARY DWELLING AND PREFABRICATED SHED

FOR: L GURR

AT: 166 HAZARDS VIEW DR, COLES BAY 7215

DATE PUBLISHED: 29/06/26

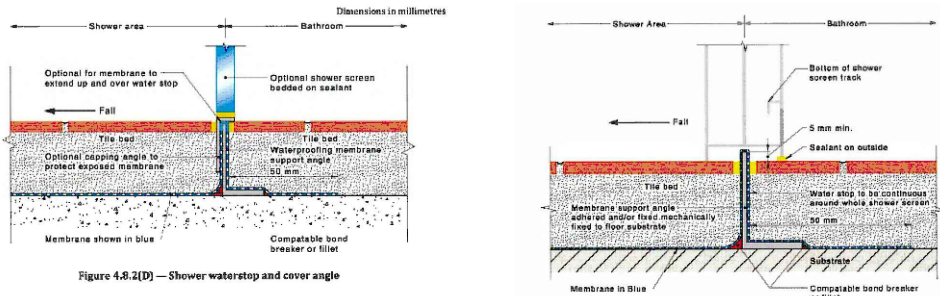
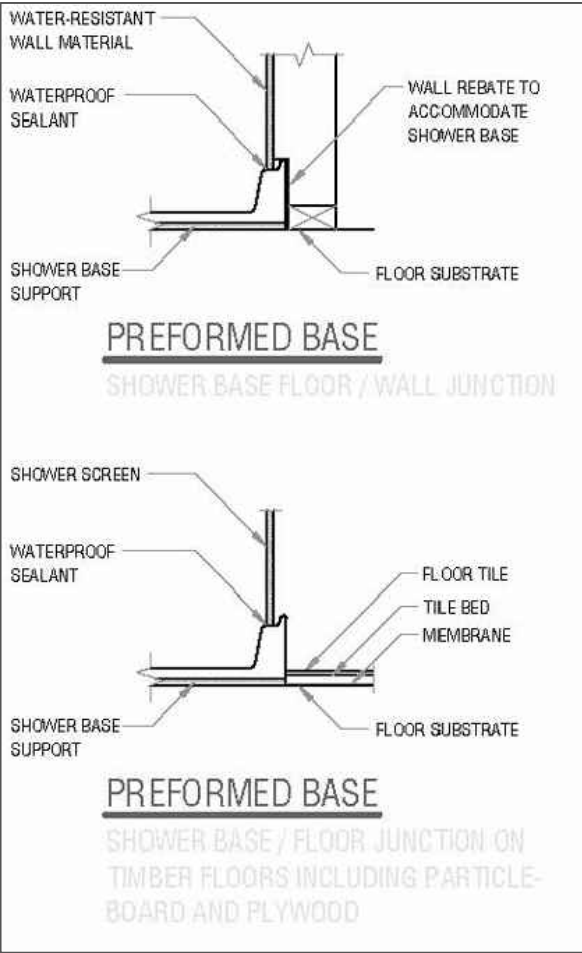
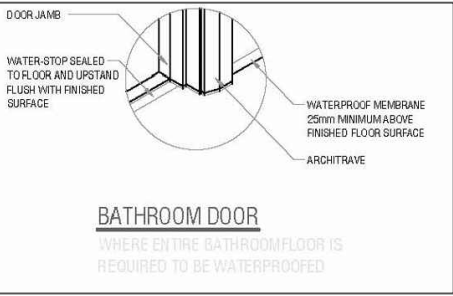
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PAPER: A3

JOB No.: 166HAZ

DRAWING:

SHED AMENITIES PLANS

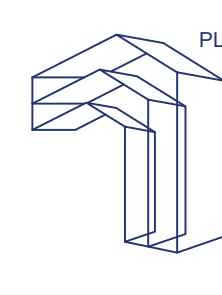


NOTE 1 Some shower screen extrusions do not permit the waterstop extending into a rebate. A channel section may be needed to be installed over the waterstop angle with the shower screen placed on top of the channel including return ponds.

NOTE 2 The application of sealant is intended to prevent water from leaving the shower area. The application may be on the inside and/or outside face.

AREA	REQUIREMENTS
GENERAL	– WATERPROOFING TO COMPLY WITH NCC VOL. 2 PART 10.2 – INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. – SEAL ALL SERVICE PENETRATIONS AND JUNCTIONS WATERTIGHT. – EXHAUST FANS TO BE DUCTED DIRECTLY TO OUTSIDE ATMOSPHERE.
SHOWERS	– FLOORS FULLY WATERPROOFED. – WALLS WATERPROOFED TO 1800 MM OR 25 MM ABOVE SHOWER ROSE. – FALLS TO WASTE 1:80–1:50. – WATERSTOP ANGLE AT THRESHOLDS 25 MM MIN. – MEMBRANE DRESSED INTO PUDDLE FLANGE. – PREFORMED BASES INSTALLED PER MANUFACTURER, WALL JUNCTIONS SEALED.
BATHS & SPAS	– MEMBRANE TURNED UP 150 MM ABOVE BATH LIP. – FULL FLOOR WATERPROOFED WHERE SHOWER INSTALLED OVER BATH. – FLEXIBLE SEALANT AT JUNCTIONS. – FREESTANDING BATHS: SEAL ALL PENETRATIONS AROUND WASTE AND SUPPLY.
BATHROOM FLOORS & DOORS	– FLOORS WATERPROOFED OR WATER-RESISTANT WITH FALLS TO WASTE WHERE PROVIDED. – WALL/FLOOR JUNCTIONS: BOND BREAKER + MEMBRANE UPTURN 150 MM MIN. – DOOR THRESHOLDS: MEMBRANE CONTINUOUS UNDER SILL WITH 25 MM TURN-UP. – DOOR JAMBS BELOW TILE LEVEL WATERPROOFED TO MAINTAIN CONTINUOUS SEAL.
BASINS / VANITIES	– SPLASHBACK BEHIND BASINS WATERPROOFED OR WATER-RESISTANT TO 150 MM ABOVE LIP. – JUNCTIONS SEALED WITH FLEXIBLE SEALANT. – PENETRATIONS SEALED WATERTIGHT. – BENCHTOP CUT-OUTS AND BASIN LIPS SEALED.
WC / TOILETS	– FLOORS WATER-RESISTANT; WATERPROOFING REQUIRED WHERE FLOOR WASTE INSTALLED OR WC ADJOINS WET AREA. – JUNCTIONS SEALED WITH FLEXIBLE SEALANT. – SERVICE PENETRATIONS SEALED WATERTIGHT. – DOOR JAMB BASES WATERPROOFED WHERE ON TILED FLOORS.
LAUNDRIES	– FLOORS WATERPROOFED OR WATER-RESISTANT WITH FALLS TO WASTE WHERE PROVIDED. – WALL/FLOOR JUNCTIONS SEALED WITH BOND BREAKER + MEMBRANE UPTURN 150 MM MIN. – SPLASHBACK BEHIND TUBS WATERPROOFED OR WATER-RESISTANT TO 150 MM ABOVE LIP. – TUB/WALL JUNCTIONS SEALED WITH FLEXIBLE SEALANT. – SERVICE PENETRATIONS SEALED WATERTIGHT; PUDDLE FLANGE AT FLOOR WASTES.

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DRAWING:

WATERPROOFING

09

A. SHOWER AREAS (ENCLOSED & UNENCLOSED)

1. WHERE THE SHOWER FLOOR IS FORMED WITH A HOB, STEP-DOWN OR IS CONTINUOUS WITH THE BATHROOM FLOOR:
- THE SHOWER FLOOR, INCLUDING ANY HOB OR STEP-DOWN, MUST BE FULLY WATERPROOFED.
 - WALLS WITHIN THE SHOWER MUST BE WATERPROOFED TO A MINIMUM HEIGHT OF 1800 MM ABOVE THE FINISHED FLOOR LEVEL, OR NOT LESS THAN 25 MM ABOVE THE SHOWER ROSE.
 - WALL JUNCTIONS AND VERTICAL JOINTS INSIDE THE SHOWER MUST BE WATERPROOFED TO AT LEAST 40 MM PAST THE JUNCTION.
 - THE FLOOR-TO-WALL JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOFED.
 - ALL SERVICE PENETRATIONS IN THE SHOWER AREA MUST BE WATERPROOFED.

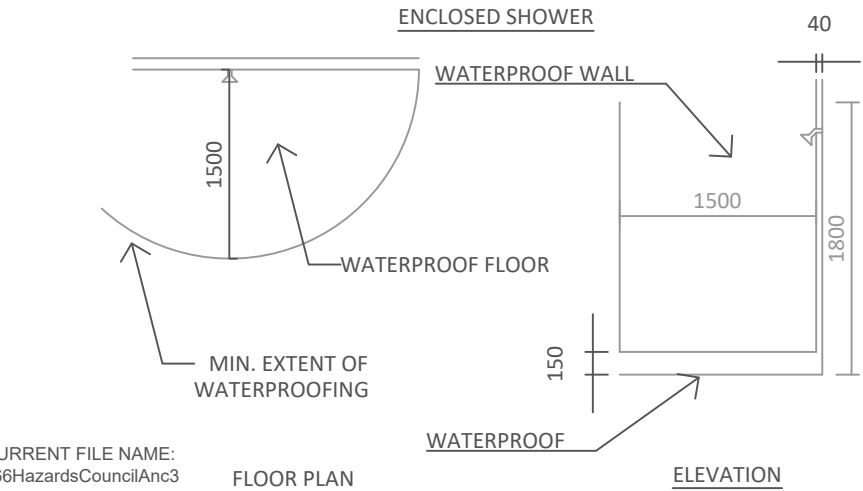
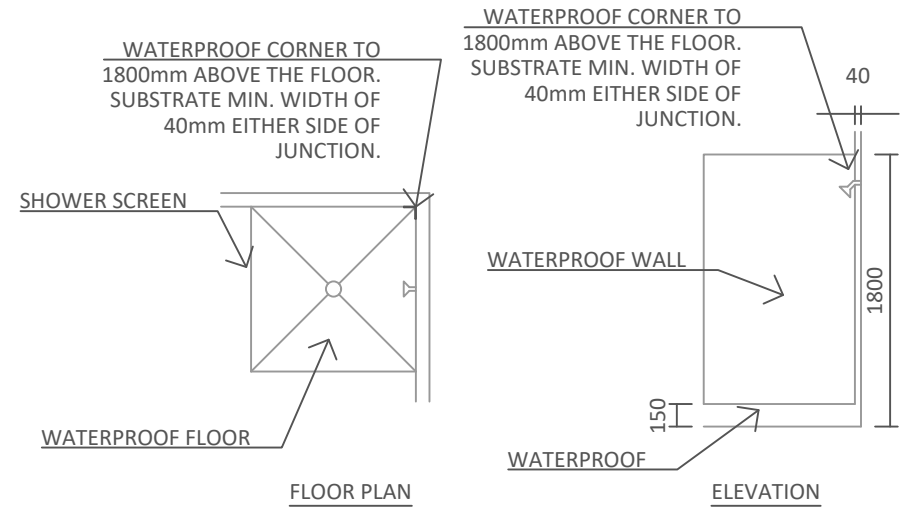
2. FLOORS MUST BE LAID TO FALLS BETWEEN 1:80 AND 1:50 TOWARDS THE WASTE.

3. A WATERSTOP ANGLE NOT LESS THAN 25 MM HIGH MUST BE PROVIDED AT ALL SHOWER THRESHOLDS.

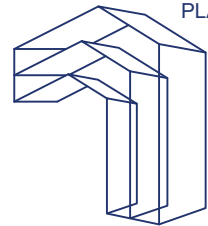
4. THE MEMBRANE MUST BE DRESSED INTO THE PUDDLE FLANGE.

AREA OUTSIDE SHOWER AREA

1. FLOORS CONSTRUCTED FROM CONCRETE, COMPRESSED FIBRE-CEMENT, OR FIBRE-CEMENT SHEETING MUST BE FINISHED TO BE WATER RESISTANT.
2. FLOORS FORMED FROM TIMBER-BASED PRODUCTS SUCH AS PARTICLEBOARD, PLYWOOD, OR OTHER SHEET MATERIALS MUST BE MADE WATERPROOF.
3. AT ALL WALL-TO-FLOOR JUNCTIONS:
- THE JUNCTION MUST BE FULLY WATERPROOFED.
 - WHERE FLASHING IS PROVIDED, THE HORIZONTAL LEG OF THE FLASHING MUST EXTEND NOT LESS THAN 40 MM.



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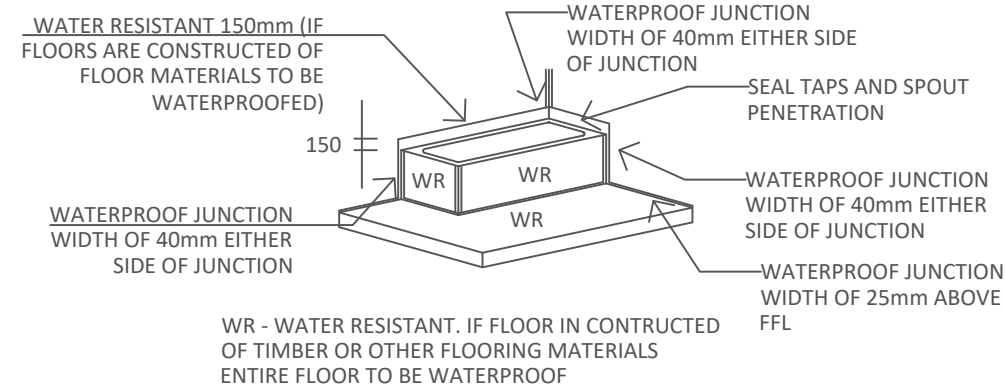
10

AREAS ADJACENT TO BATHS & SPAS (WITHOUT SHOWERS)

1. GENERAL REQUIREMENTS:
- FOR CONCRETE OR FIBRE-CEMENT SHEET FLOORS, THE FLOOR SURFACE MUST BE WATER RESISTANT.
 - FOR TIMBER-BASED FLOORS (PARTICLEBOARD, PLYWOOD, STRIP FLOORING), THE FLOOR MUST BE WATERPROOF.
 - ANY TAP OR SPOUT PENETRATION LOCATED IN A HORIZONTAL SURFACE MUST BE FULLY WATERPROOFED.

2. NON-FREESTANDING BATHS AND SPAS:
- ADJACENT WALLS MUST BE WATER-RESISTANT:
 - (I) TO A MINIMUM HEIGHT OF 150 MM ABOVE THE RIM OF THE BATH/SPA WHERE THE FIXTURE IS WITHIN 75 MM OF A WALL.
 - (II) TO COVER ALL EXPOSED SURFACES BELOW THE VESSEL LIP.
 - WALL JUNCTIONS AND VERTICAL JOINTS MUST BE WATER-RESISTANT FOR THE FULL LENGTH OF THE BATH/SPA AND TO A HEIGHT OF AT LEAST 150 MM ABOVE THE RIM.
 - WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE FULL EXTENT OF THE BATH/SPA.

3. INSERTED BATHS AND SPAS:
- FLOORS AND HORIZONTAL SURFACES:
 - (I) ANY SHELF AREA ADJOINING THE BATH/SPA MUST BE WATERPROOFED AND FITTED WITH A WATERSTOP BENEATH THE VESSEL LIP.
 - (II) NO WATERPROOFING IS REQUIRED TO THE FLOOR DIRECTLY BENEATH THE BATH/SPA.
 - WALLS:
 - (I) WALLS MUST BE WATERPROOFED TO A MINIMUM OF 150 MM ABOVE THE BATH/SPA LIP.
 - (II) NO WATERPROOFING IS REQUIRED TO WALL AREAS BELOW THE VESSEL LIP.
 - WALL JUNCTIONS AND JOINTS:
 - (I) JUNCTIONS WITHIN 150 MM ABOVE THE LIP MUST BE WATERPROOFED.
 - (II) NO WATERPROOFING IS REQUIRED TO JUNCTIONS AND JOINTS CONCEALED BELOW THE BATH/SPA LIP.
 - TAP AND SPOUT PENETRATIONS IN ANY HORIZONTAL SURFACE MUST BE WATERPROOFED..



MEMBRANE INSTALLATION FOR SCREED
WHERE A SCREED IS USED IN CONJUNCTION WITH A WATERPROOF MEMBRANE, THE WATERPROOF MEMBRANE CAN BE INSTALLED EITHER ABOVE OR BELOW THE TILE BED OR SCREED.

- WET AREA FALLS**
WHERE A FLOOR WASTE IS INSTALLED
- (a) THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80, AND
 - (b) THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50

- SHOWER AREA MEMBRANE REQUIREMENTS FOR WALL SHEETING SUBSTRATES**
1. WHERE WALL SHEETING IS USED WITH AN EXTERNAL MEMBRANE SYSTEM IN A SHOWER AREA IT MUST BE WATERPROOF TO PREVENT WATER MOVEMENT BY CAPILLARY ACTION.
 2. WHERE WATER RESISTANT PLASTERBOARD IS USED ALL CUT EDGES THAT HAVE THE POTENTIAL TO BE AFFECTED BY WATER AND MOISTURE MUST BE WATERPROOFED, INCLUDING THE BOTTOM EDGE OVER A PREFORMED SHOWER BASE.

- BOND BREAKER INSTALLATION FOR BONDED MEMBRANES**
1. BOND BREAKERS MUST BE INSTALLED AT ALL WALL/WALL, WALL/FLOOR, HOB/WALL JUNCTIONS AND AT MOVEMENT JOINTS WHERE THE MEMBRANE IS BONDED TO THE SUBSTRATE.
 2. BOND BREAKERS MUST BE OF THE TYPE COMPATIBLE WITH THE FLEXIBILITY CLASS OF THE MEMBRANE TO BE USED.

MATERIALS
WHERE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH 10.2.2 TO 10.2.6, MATERIALS USED IN WET AREAS FORMING A WATERPROOFING SYSTEM MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE

- MATERIALS - WATERPROOF**
THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF;
- (a) STAINLESS STEEL
 - (b) FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS.
 - (c) MEMBRANES COMPLYING WITH AS/NZS 4858.
 - (d) WATERPROOF SEALANT.

- MATERIALS - WATER RESISTANT SUBSTRATES**
THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:
- (a) FOR WALLS:
 - CONCRETE COMPLYING WITH AS 3600, TREATED TO RESIST MOISTURE MOVEMENT.
 - CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT.
 - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2.
 - WATER RESISTANT PLASTERBOARD SHEETING.
 - MASONRY IN ACCORDANCE WITH AS 3700, TREATED TO RESIST MOISTURE MOVEMENT.

- (b) FOR FLOORS:
 - CONCRETE COMPLYING WITH AS 3600.
 - CONCRETE SLABS COMPLYING WITH AS 2870.
 - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR.

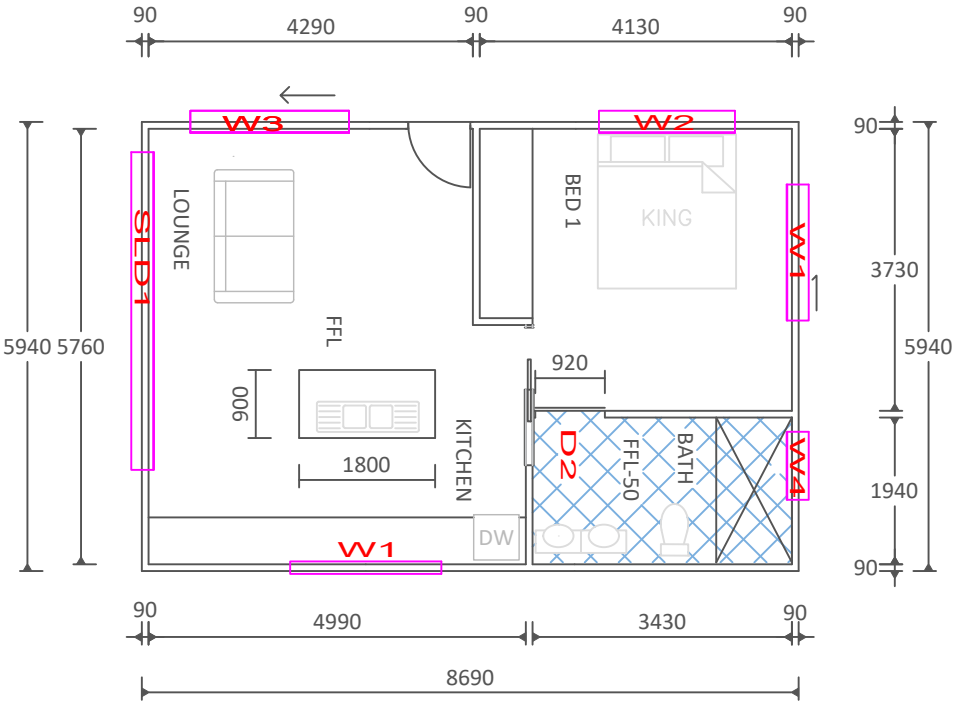
- MATERIALS — WATER RESISTANT SURFACE MATERIALS**
THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:
- (a) FOR WALLS:
 - THERMOSETTING LAMINATE.
 - PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS 2908.2.
 - TILES WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9.
 - WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9.
 - SANITARY GRADE ACRYLIC LININGS.

- (b)FOR FLOORS, WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9:
 - TILES.
 - WATER RESISTANT FLEXIBLE SHEET FLOORING MATERIAL WITH SEALED JOINTS.

- (c)CONCRETE TREATED TO RESIST MOISTURE MOVEMENT.

PENETRATIONS

- PENETRATIONS WITHIN SHOWER AREAS MUST COMPLY WITH THE FOLLOWING:
- (a) PENETRATIONS FOR TAPS, SHOWER NOZZLES AND THE LIKE MUST BE WATERPROOFED BY SEALING WITH—
 - SEALANTS; OR
 - PROPRIETARY FLANGE SYSTEMS; OR
 - A COMBINATION OF (I) AND (II).
 - (b) THE SPINDLE HOUSING OF THE TAP BODY MUST BE ABLE TO BE REMOVED TO ENABLE REPLACEMENT OF THE WASHER WITHOUT DAMAGING THE SEAL.
 - (c) THE FOLLOWING MUST BE WATERPROOFED:
 - ALL PENETRATIONS DUE TO MECHANICAL FIXINGS OR FASTENINGS OF SUBSTRATE MATERIALS.
 - ANY PENETRATION OF THE SURFACE MATERIALS DUE TO MECHANICAL FIXINGS OR FASTENINGS.
 - RECESSED SOAP HOLDERS (NICHES) AND THE LIKE.
 - (d) TAP AND SPOUT PENETRATIONS ON HORIZONTAL SURFACES SURROUNDING BATHS AND SPAS MUST BE WATERPROOFED BY—
 - SEALING THE TAP BODY TO THE SUBSTRATE WITH SEALANTS; OR
 - PROPRIETARY FLANGE SYSTEMS.



FLOOR PLAN NOTES & KEY

BRICK VENEER WALL (110B X 40C X 90W) [Symbol]

EXTERNAL CLADDED WALL WITH 20mm VENTILATION GAP (90W X 20C X 20CL) [Symbol]

INTERNAL WALL (90mm) [Symbol]

WINDOWS [Symbol]

FLOOR PLAN NOTES

ALL WORKS TO COMPLY WITH NCC, ABCB HOUSING PROVISIONS, AUSTRALIAN STANDARDS AND TAS DIRECTOR'S DETERMINATIONS.

BUILDER TO VERIFY ALL DIMENSIONS, LEVELS AND EXISTING CONDITIONS ON SITE PRIOR TO COMMENCEMENT. DO NOT SCALE FROM DRAWINGS.

ALL DIMENSIONS SHOWN TO STRUCTURAL FRAMING UNLESS NOTED OTHERWISE. OPENINGS, FIXTURES AND WALL SETOUTS MUST BE CONFIRMED ON SITE.

FINISHED FLOOR LEVELS TO MATCH APPROVED SETOUT AND SITE PLAN. STRUCTURAL WALLS, LINTELS AND BEAMS TO BE INSTALLED PER ENGINEER'S DESIGN.

WET AREAS TO COMPLY WITH AS 3740. REFER TO WATERPROOFING PLAN FOR DETAILS.

ALL PLUMBING TO COMPLY WITH AS 3500. ALL ELECTRICAL WORK TO AS/NZS 3000.

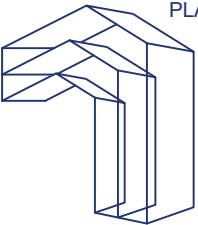
SMOKE ALARMS TO NCC PART 3.7.5 & TAS DETERMINATION: 240V, INTERCONNECTED, AND LOCATED AS REQUIRED BY THE NCC. LOCATIONS TO BE CONFIRMED ON SITE.

DRAWINGS TO BE READ WITH ENGINEERING AND OTHER CONSULTANT DOCUMENTS.

AJM DRAFTING SERVICES ACCEPTS NO RESPONSIBILITY FOR UNVERIFIED CONDITIONS OR UNAUTHORISED PLAN MODIFICATIONS.

ANCILLARY DWELLING FLOOR PLAN

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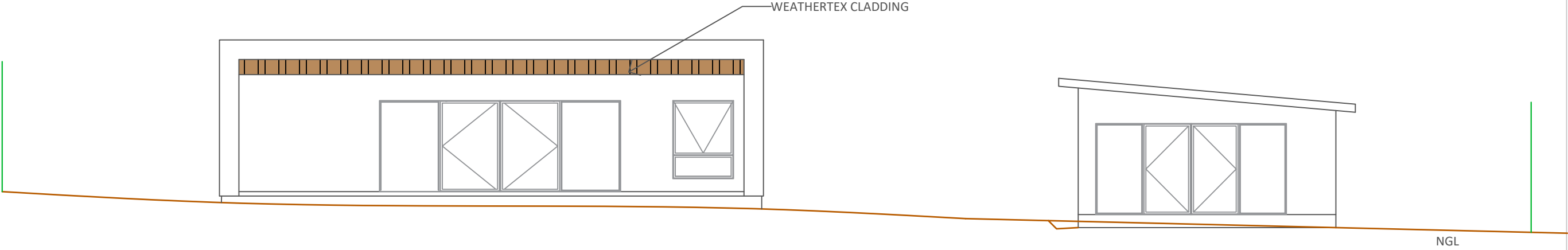
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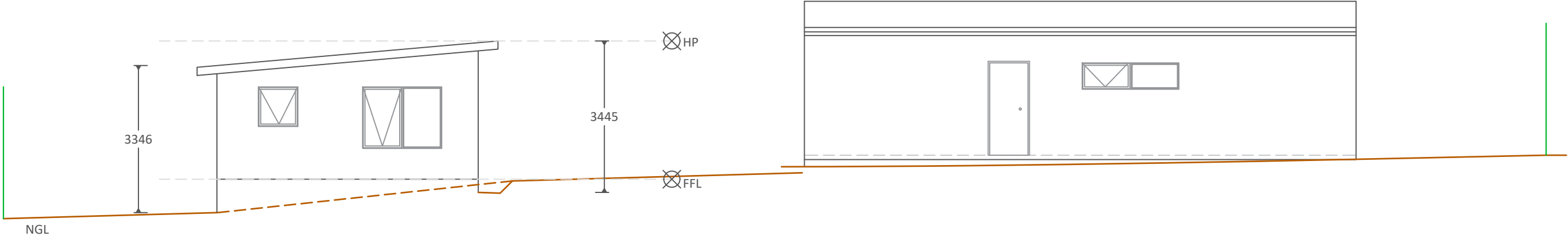
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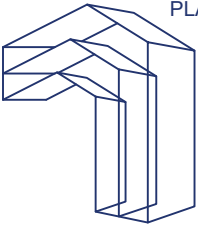


 **NORTH WEST
ELEVATION**



 **SOUTH EAST
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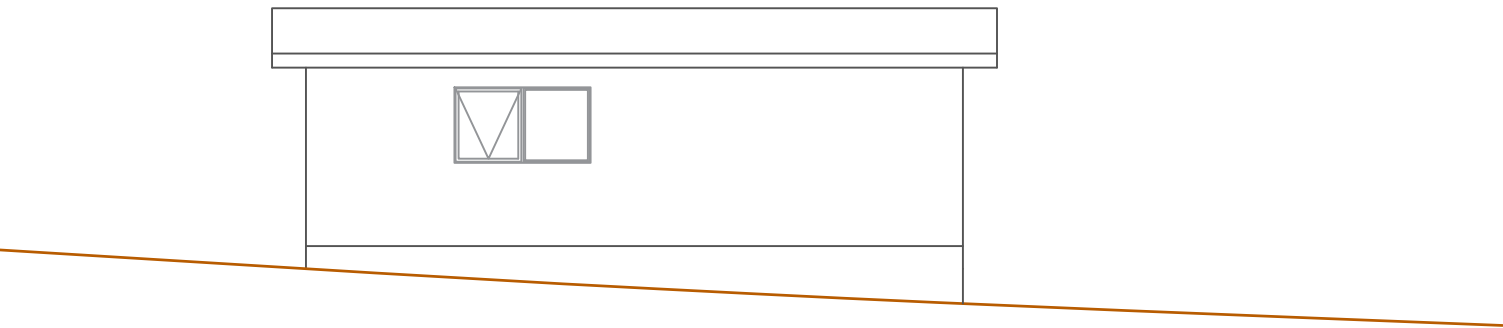
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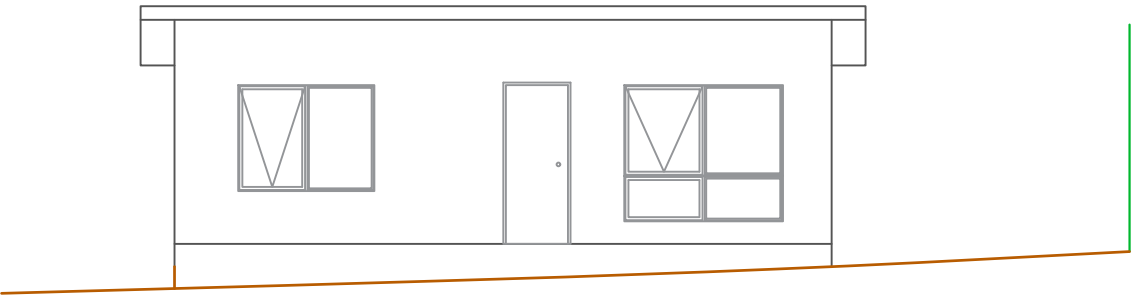
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DRAWING:
**RESIDENCE &
ANCILLARY
ELEVATIONS**



 **SOUTH WEST
ELEVATION**



 **NORTH EAST
ELEVATION**

ELEVATION NOTES AND KEY

FFL = FINISHED FLOOR LEVEL
FGL = FINISHED GROUND LEVEL
NGL = NATURAL GROUND LEVEL
CL = CEILING LEVEL
HP = HIGHEST POINT

ALL ELEVATIONS TO BE READ IN CONJUNCTION WITH FLOOR PLANS, SECTIONS AND WINDOW AND DOOR SCHEDULES. ALL WORK TO COMPLY WITH NCC 2022, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

LEVELS AND HEIGHTS SHOWN ARE RELATIVE TO SITE DATUM OR NOMINATED FINISHED FLOOR LEVEL AND MUST BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. RIDGE HEIGHTS, EAVES HEIGHTS AND CEILING HEIGHTS TO ALIGN WITH APPROVED SETOUT.

EXTERNAL CLADDING, ROOFING AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, BAL REQUIREMENTS AND NCC PART 3.5.
FLASHINGS TO BE PROVIDED TO ALL OPENINGS AND JUNCTIONS TO PREVENT WATER INGRESS.

WINDOW AND DOOR SIZES, TYPES AND HEAD/SILL HEIGHTS TO BE READ WITH THE WINDOW AND DOOR SCHEDULE. SAFETY GLAZING TO COMPLY WITH AS 1288. FALL PREVENTION REQUIREMENTS APPLY WHERE SILL HEIGHTS ARE LESS THAN NCC MINIMUMS.

INSULATION, VAPOUR CONTROL AND CONDENSATION MANAGEMENT TO COMPLY WITH NCC 2022 AND THE TASMANIAN “CONDENSATION IN BUILDINGS” DESIGNER GUIDE.

ANY DISCREPANCIES IN HEIGHTS, LEVELS OR FINISHES MUST BE REPORTED TO THE DESIGNER BEFORE PROCEEDING.

CURRENT FILE NAME:
166HazardsCouncilAnc3



PLANS by:

AJM Drafting Services
ABN: 98 602 040 886
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IMPORTANT NOTE – CONTRACTOR RESPONSIBILITIES
BEFORE COMMENCING ANY WORKS, THE CONTRACTOR MUST ENSURE THAT:

ALL RELEVANT PRE-CONSTRUCTION CHECKS HAVE BEEN COMPLETED.
SITE ADDRESS, BOUNDARIES, LEVELS, AND DIMENSIONS ARE VERIFIED AND CORRECT.
ALL SITE DETAILS SHOWN ARE CONFIRMED AGAINST ACTUAL CONDITIONS.
PRODUCTS AND MATERIALS SPECIFIED ARE CONFIRMED WITH THE OWNER PRIOR TO INSTALLATION.
DO NOT SCALE FROM DRAWINGS.
THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ERRORS ARISING FROM FAILURE TO VERIFY OR CONFIRM THE ABOVE.

REVISION:

CHECKED AGAINST
DIRECTOR'S DETERMINATION
REQUIREMENTS



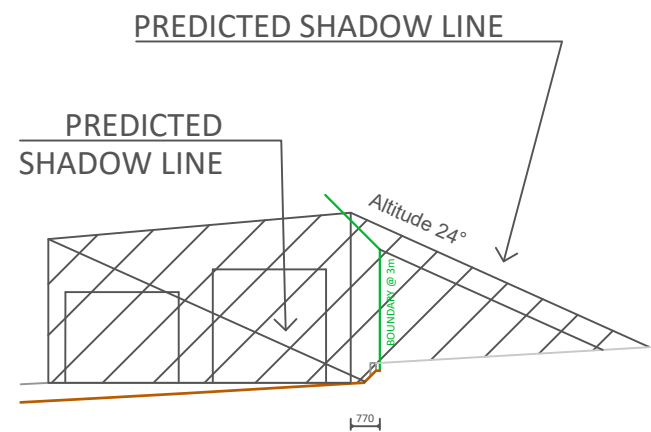
PROPOSED RESIDENCE,
ANCILLARY DWELLING
AND PREFABRICATED
SHED
FOR: L GURR
AT: 166 HAZARDS VIEW DR,
COLES BAY 7215

DATE PUBLISHED: 29/06/26
SCALE: 1:100
PAPER: A3
JOB No.: 166HAZ

DRAWING:
**ANCILLARY
ELEVATIONS**

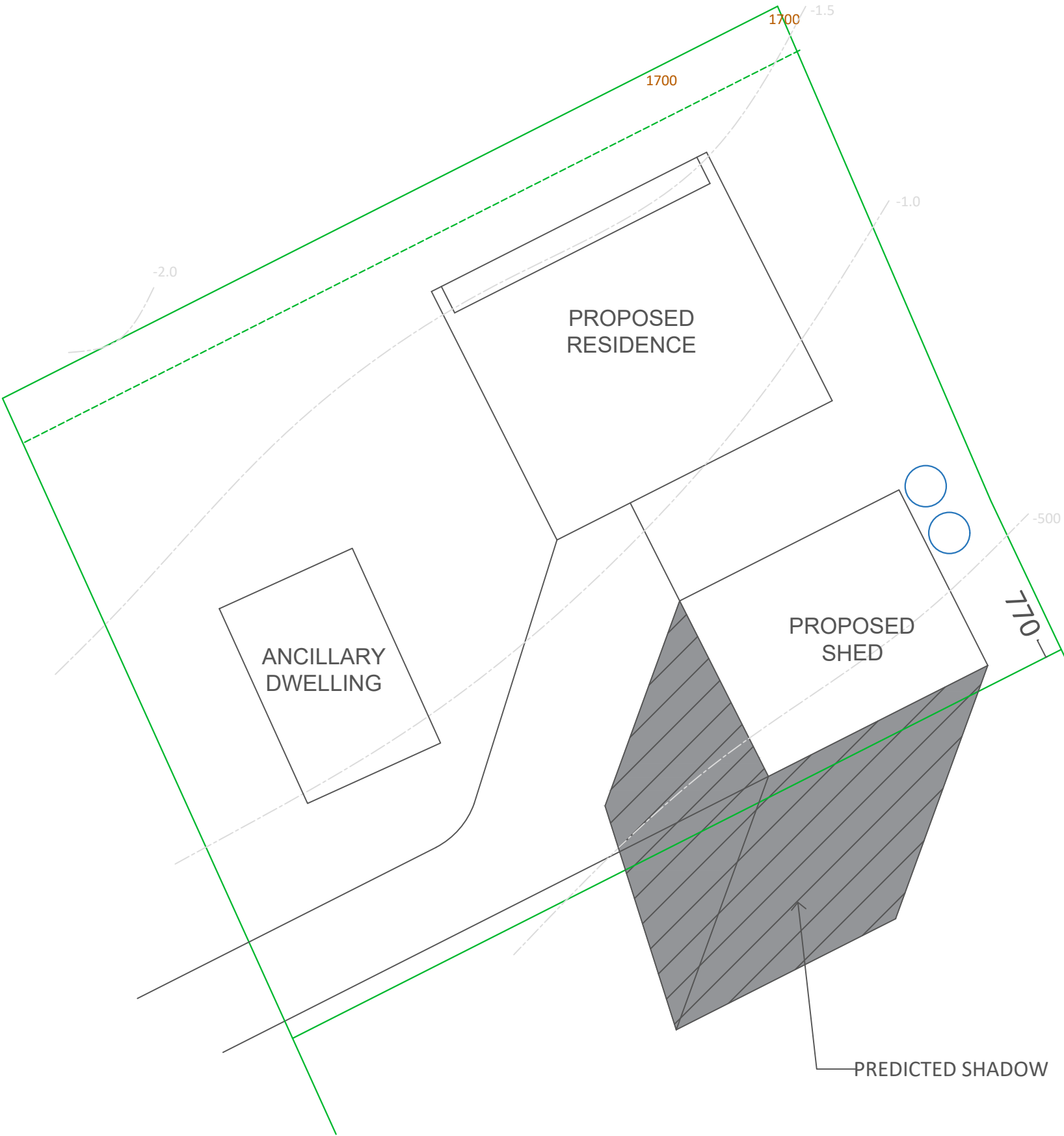
SHADOW PLAN

21 june 11am
Azimuth 20° Altitude 24°



SOUTH WEST ELEVATION
21 june 11am
Azimuth 20° Altitude 24°

SHADOW PLAN



LEGEND & NOTES

THESE SHADOW DIAGRAMS HAVE BEEN PREPARED FOR PLANNING ASSESSMENT PURPOSES ONLY AND ARE INDICATIVE OF THE EXTENT OF OVERSHADOWING RESULTING FROM THE PROPOSED DEVELOPMENT.

SHADOW PROJECTIONS HAVE BEEN PREPARED USING A NOMINAL SOLAR POSITION FOR 21 JUNE AT 11:00 AM BASED ON A SOLAR AZIMUTH OF 20° AND SOLAR ALTITUDE OF 24°. SOLAR POSITION HAS BEEN DETERMINED USING THE DESIGN SOFTWARE ADOPTED FOR PREPARATION OF THESE DRAWINGS.

SHADOW DIAGRAMS ARE BASED ON THE PROPOSED ARCHITECTURAL DRAWINGS AND ASSUMED FINISHED BUILDING GEOMETRY. EXISTING SITE FEATURES, VEGETATION, RETAINING WALLS, FENCES, NEIGHBOURING STRUCTURES, LOCAL TOPOGRAPHY AND OTHER OBSTRUCTIONS HAVE NOT BEEN INDEPENDENTLY SURVEYED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS.

PROPERTY BOUNDARIES, BUILDING LOCATIONS, DIMENSIONS AND FINISHED LEVELS ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF PREPARATION. AJM DRAFTING SERVICES HAS NOT UNDERTAKEN A CADASTRAL OR ENGINEERING SURVEY UNLESS SPECIFICALLY NOTED ELSEWHERE WITHIN THE DOCUMENTATION.

MINOR VARIATIONS IN SURVEY INFORMATION, CONSTRUCTION TOLERANCES, FINISHED LEVELS, ROOF FRAMING, FASCIA AND GUTTER DIMENSIONS, EAVE PROJECTIONS OR OTHER BUILDING ELEMENTS MAY RESULT IN DIFFERENCES BETWEEN THE SHADOW DIAGRAMS AND SHADOWS CAST BY THE COMPLETED BUILDING.

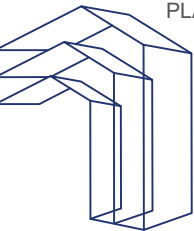
SOLAR POSITIONS MAY VARY SLIGHTLY DEPENDING ON THE CALCULATION METHOD, SOFTWARE ALGORITHMS AND REFERENCE DATA USED.

THESE SHADOW DIAGRAMS ARE INTENDED SOLELY TO ASSIST THE PLANNING AUTHORITY IN ASSESSING THE DEVELOPMENT APPLICATION AND MUST NOT BE RELIED UPON FOR CONSTRUCTION, LEGAL BOUNDARY DETERMINATION, PRECISE SOLAR ACCESS ANALYSIS, PHOTOVOLTAIC SYSTEM DESIGN OR ANY PURPOSE OTHER THAN PLANNING ASSESSMENT.

DRAWING DISCLAIMER

NOTE: THESE SHADOW DIAGRAMS ARE INDICATIVE ONLY AND HAVE BEEN PREPARED FROM THE ARCHITECTURAL DRAWINGS USING ASSUMED SITE INFORMATION AND SOFTWARE-GENERATED SOLAR POSITIONS. NO GUARANTEE IS GIVEN AS TO THE ABSOLUTE ACCURACY OF THE SHADOW PROJECTIONS. THE DIAGRAMS ARE PROVIDED SOLELY FOR PLANNING ASSESSMENT PURPOSES AND ARE NOT SURVEY ACCURATE. AJM DRAFTING SERVICES ACCEPTS NO RESPONSIBILITY FOR DECISIONS OR WORKS UNDERTAKEN IN RELIANCE UPON THESE SHADOW DIAGRAMS FOR ANY PURPOSE OTHER THAN THE ASSESSMENT OF THIS DEVELOPMENT APPLICATION.

CURRENT FILE NAME:
166HazardsCouncilAnc3



PLANS by:

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DIRECTOR'S DETERMINATION
REQUIREMENTS

NORTH:



PROPOSED RESIDENCE,
ANCILLARY DWELLING
AND PREFABRICATED
SHED
FOR: L GURR
AT: 166 HAZARDS VIEW DR,
COLES BAY 7215

DATE PUBLISHED: 29/06/26

SCALE: 1:200

PAPER: A3

JOB No.: 166HAZ

DRAWING:

**SHADOW
PLAN
JUNE**

14

The site plan illustrates the layout of three proposed structures: a main residence, an ancillary dwelling, and a shed. The residence is the largest structure, located in the upper right. The ancillary dwelling is a smaller rectangular structure to the left of the residence. The shed is located in the lower right, adjacent to the residence. A predicted shadow is shown as a dark grey area extending from the shed towards the bottom left. The plan includes contour lines with elevations of 1700, 1710, and 1720. A green line represents the property boundary. A north arrow is located in the bottom right corner, pointing towards the top right. The text 'PREDICTED SHADOW' is written in the bottom right corner, with an arrow pointing to the shadow area.

NOTE: THESE SHADOW DIAGRAMS ARE INDICATIVE ONLY AND HAVE BEEN PREPARED FROM THE ARCHITECTURAL DRAWINGS USING ASSUMED SITE INFORMATION AND SOFTWARE-GENERATED SOLAR POSITIONS. NO GUARANTEE IS GIVEN AS TO THE ABSOLUTE ACCURACY OF THE SHADOW PROJECTIONS. THE DIAGRAMS ARE PROVIDED SOLELY FOR PLANNING ASSESSMENT PURPOSES AND ARE NOT SURVEY ACCURATE. AJM DRAFTING SERVICES ACCEPTS NO RESPONSIBILITY FOR DECISIONS OR WORKS UNDERTAKEN IN RELIANCE UPON THESE SHADOW DIAGRAMS FOR ANY PURPOSE OTHER THAN THE ASSESSMENT OF THIS DEVELOPMENT APPLICATION.

15

Building Specification Sheet

Client Details

Job Name:	Transman Solutions - Leigh Gurr	Site Address:	166 Hazards View Drive, Coles Bay, TAS 7215, Australia
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Design Parameter Specifications

Wind Region:	A4	Terrain Category:	3
Topography:	Level Site	Shielding:	No shielding
Building Usage:	Domestic	Importance Level:	2
Building Class:	Class 10A - Non-habitable	Internal Press Coefficient:	-0.65, 0.7
Dominant Opening (yes/no):	Yes	Design Working Life (yrs):	50 Years
Regional Wind Velocity (m/s):	44.98 m/s	Percent AEP Flood Level:	NA
Site Wind Velocity (m/s):	38.38 m/s	Max ¼ Eave Water Velocity (m/s):	NA
Flood Zone 1:	NA	Alpine / Sub Alpine:	NA
Max Eave Water Velocity (m/s):	NA	Annual Exceedance Prob:	NA
Snow Region:	NA	Snow Loading (kPa):	NA
Altitude Above Sea Level (m):	NA	Soil Type design maximum:	A, S or M
Snow Terrain Category:	NA	Footing Size (WxLxD):	See footings details
Ground Type:	Clay	Column In Ground (mm):	NA
Footing Type:	Pier	Column Anchor Type:	Screw In Bolts
Column Connection Type:	Pinned		

Cladding, Flashings, Insulation & Water management

Wall Cladding:	Trimclad - 0.42	Roof Cladding:	Trimclad - 0.42
Skylights Type:	NA	Skylight No:	0
Corner Flashings:	Standard QDek	Opening Flashing:	Side Roller Door Trimclad
Header Flashings:	Door Header Flashing Metroclad	Eave Flashing:	NA
Barge:	Barge for Trimclad	Ridge Cap:	Flashing - Reverse Barge Trimclad 5 deg CB
Gutter:	Gutter - 115 Quad Gutter CB	Roof m2 area:	81.346 m2
Downpipe Qty:	3	Downpipe Size:	90mm Stormwater Pipe x 6000
Wall Insulation:	NA	Wall Ventilation:	NA
Roof Insulation:	NA	Roof Ventilation:	NA
Ridge Filler:	Yes	Eave Filler:	NA
Base Filler:	NA	Vermin Seal:	NA

Colour Schedule

Roof Colour:	Basalt	Ridge Cap Colour:	Basalt
Wall Colour:	Basalt	Barge Colour:	Basalt
Corner Flashing Colour:	Basalt	Opening Flashing Colour:	Basalt
Gutter Colour:	Basalt	Downpipe Colour:	UnPainted
Skylight Colour:	NA		

Main Building

Client Details

Job Name:	Transman Solutions - Leigh Gurr	Site Address:	166 Hazards View Drive, Coles Bay, TAS 7215, Australia
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Main Building Geometry

Width:	8m	Length:	10m
Roof type:	Skillion	Roof Pitch:	5deg
Left Eave Height:	3.8m	Right Eave Height:	4.5m
Largest Side Bay:	3.3333m	Largest End Bay:	4.0m
Side Bay Qty:	3	End Bay Qty:	2
Extended Eaves LH:	0	Extended Eaves Front:	0
Extended Eaves RH:	0	Extended Eaves Back:	0

Main Building Portal Member Schedule

End Wall Portal Frames - All Portals with 50% Bay Load Width only			
End Column:	C20019	End Rafter:	C20019
Haunch Connection:	Haunch Bracket - C20019 5 Deg	Apex Connection:	Apex Bracket - C20019 5 Deg
Portal Fixing:	Bolted - See Connection Detail	Portal Base Type:	Gable Base Cleat
Base Type Fixing:	Bolted - See Connection Detail	Masonry Anchors:	See Connection Detail
End Mullion:	C15019	Mullion Base Cleat:	Base Cleat - C15019
Mullion Cleat Fixing:	Bolted - See Connection Detail	Masonry Anchors:	See Connection Detail
Internal Portal Frames - All Building Portals with 100% Bay Load Width only			
Internal Column:	C25024	Internal Rafter:	C25024
Haunch Connection:	Haunch Bracket - C25024 5 Deg	Apex Connection:	Apex Bracket - C25024 5 Deg
Portal Fixing:	Bolted - See Connection Detail	Portal Base Type:	Int Base Cleat
Base Type Fixing:	Bolted - See Connection Detail	Masonry Anchors:	See Connection Detail
Knee Brace:	NA	Apex Brace:	NA
Knee Brace Length:	NA	Apex Brace Length:	NA
Knee Brace Origin:	NA	AB Connection:	NA
Knee Brace Angle:	NA	Apex Brace Fixing:	NA
KB Connection:	NA	Knee Brace Fixing:	NA

Main Building Ancillary Frame Member Schedule

Bracing			
Cross Bracing:	1 * 32x1.6	Cross Brace Fixing:	Screwed - See Connection Details
Fly Bracing:	Flybrace 50mm Feed x 834mm	Fly Brace Fixing:	Screwed - See Connection Details
Roof Strut:	C15015	Struts Each Side / Bay:	2
RF Strut Connection:	See Connection Details	Roof Strut Fixings:	Bolted - See Connection Details
LH RF Bays with Strut:	See Roof Plan	RH RF Bays with Strut:	See Roof Plan
LH Side Bays Braced:	See Frame Elevations	RH Side Bays Braced:	See Frame Elevations
LH RF Bays Braced:	See Roof Plan	RH RF Bays Braced:	See Roof Plan
Front Bays Braced:	See Frame Elevations	Back Bays Braced:	See Frame Elevations
End Roller Door Members			
R-Door Columns:	C20019 C Section	R-Door Column Fixing:	See Connection Details
R-Door Base Cleats:	Base Cleat 150	Masonry Anchors:	See Connection Details
Base Cleat Fixing:	Bolted - See Connection Detail	Header Beam Fixing:	See Connection Details
R-Door Header Beam:	C10012 C Section	Header Orientation:	Vertical
Side Roller Door Members			
R-Door Columns:	NA	R-Door Column Fixing:	NA
R-Door Base Cleats:	NA	Masonry Anchors:	NA
Base Cleat Fixing:	NA	Header Beam Fixing:	NA
R-Door Header Beam:	NA	Header Orientation:	NA
Purlin's, Girt's & Bridging			
Eave Purlin:	C10012 C Section	Eave Purlin Connection:	See Connection Details
Roof Purlin:	Z10012 Z Section	Max Purlin Spacing:	1150mm
Purlin Bridging:	Yes	Bridging Rows / Bay:	1
Side Wall Girt:	Z10012 Z Section	Max Side Spacing:	1450mm
Side Girt Bridging:	Yes	Bridging Rows / Bay:	1
End Wall Girt:	Z10012 Z Section	Max End Spacing:	1450mm
End Girt Bridging:	Yes	Bridging Rows / Bay:	1
Girt Fixing:	Bolted - See Connection Detail	Purlin Fixing:	Bolted - See Connection Detail

SUPPLIED BY:

Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306

PH: 0405 317 875
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ENGINEERING CALCULATIONS BY:
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RPEQ (0715)/RBNP(N)/60596(S)/RPE(V)/PES002364/
RBP(Tas)(C5556). RES NSW (BDC4601)/MAIB (9225) -JP(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
1 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
BUILDING SPECIFICATIONS

JOB REFERENCE NO: 133054

Date: 15/07/2025

Revision:
00
DRAWING NO:
01

GENERAL NOTES

GENERAL

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL THE ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAYBE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. THE ENGINEER'S DRAWING SHALL NOT BE SCALED.

DURING CONSTRUCTION THE CONTRACTOR SHOULD BE RESPONSIBLE FOR MAINTAINING TH E STRUCTURE IN A STABLE CONDITION AND ENSURING NOT PART SHALL BE OVER STRESSED UNDER CONSTRUCTION ACTIVITIES. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED.

WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE RELEVANT CURRENT SA CODES INCLUDING ALL THE AMENDMENTS AND THE LOCAL STATUTORY AUTHORITIES EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

THE APPROVAL OF THE SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER.

ALL DIMENSIONS ARE IN MILLIMETERS UNO ALL LEVELS ARE EXPRESSED IN METERS

THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS & ADDITIONAL DEAD LOADS (TO AS/NZS 1170.1)

AREA SUBJECT TO LOADING	LIVE LOAD - Distributed (kpa)	LIVE LOAD (kN)
GENERAL AREAS	1.5000	1.8000
OFFICE	3.00	2.7000
ROOF	0.25	1.4000

WIND LOADS: (TO AS/NZS 1170.2)
**** REFER TO THE SPECIFICATION SHEET FOR DESIGN LOADS ****

FOR EARTHWORKS AND FOUNDING CONDITIONS REFER TO SITE SPECIFIC GEOTECHNICAL REPORT AND DISCREPANCIES BETWEEN THE GEOTECHNICAL REPORT AND THE FOLLOWING NOTES SHALL BE REFERRED TO THE ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.

STRUCTURAL STEEL WORK

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100.

QUALIFICATION OF WELDING PROCEDURE AND PERSONNEL SHALL CONFORM TO SECTION 4 OF AS1554 . 1. NON DESTRUCTIVE TESTING OF WELDS SHALL INCLUDE 100% VISUAL INSPECTIONS AND ADDITIONAL TESTING AS SHOWN AS SHOWN ON THE DRAWINGS

ALL WELDS SHALL BE 6 mm CONTINUOUS FILLET TYPE SP UNO. BUTT WELDS WHEREF INDICATED ON THE DRAWING SHALL BE COMPLETED PENETRATION WELDS AS DEFINED IN AS 1554. 1.

BOLT DESIGNATION:
4.6/S - COMMERCIAL BOLTS OF GRADE 4.6 TO ASI 111 TIGHTENED TO A SNUG TIGHT FIT
8.8/S - HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS 1252 TIGHTENED TO A SNUG TIGHT FIT
8.8/TB - HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS1252 TIGHTENED TO A SNUG TIGHT FIT
8.8/TF - HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS1252 TIGHTENED TO A SNUG TIGHT FIT

GUSSET PLATES SHALL 10 mm THICK, UNO.

THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS IS NECESSARY TO STABILIZE THE STRUCTURE DURING ERECTION.

THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER TO STEEL WHETHER OR NOT DETAILED IN DRAWINGS.

CONCRETE ENCASED STEEL WORK SHALL WRAPPED WITH F41 FABRIC AND SHALL HAVE 50 mm COVER UNO ON THE DRAWINGS

STEEL WORK NOT CONCRETE ENCASED, SHALL HAVE THE FOLLOWING SURFACE TREATMENT IN ACCORDANCE WITH THE SPECIFICATION UNO:

ELEMENT	SURFACE CLEANING	PRIMING
ALL STEEL WORK BUIT-IN TO BRICKWORK AND EXTERNAL STEEL WORK	TO AS1650	HOT DIPPED GALVANISED
ALL INTERNAL STEEL WORK	HAND/POWER TOOL TO CLASS 1 OF AS1627	ALKYD PRIMER ZINC PHOSPATE

WHERE SEALED TUBE MEMBERS ARE TO BE HOT DIPPED GALVANIZED , THE FABRICATOR SHALL PROVIDE ALL DRILL HOLES AS NECESSARY.

THE CONTRACTOR SHALL PREPARE AND SUBMIT IWO (2) COPIES OF ALL WORKSHOP DRAWINGS FOR APPROVAL. FABRICATION SHALL NOT COMMENCE UNTIL APPROVAL HAS BEEN OBTAINED.

ALL TRANSPORTS AND ERECTION DAMAGE, SITE WELDS ETCH SHALL BE REINSTATED TO AN EQUIVALENT FINISH TO ACCIDENT STEEL WORK.

MASONRY

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700.

THE DESIGN STRENGTH OF MASONRY SHALL BE

EXPOSURE CALCIFICATION TO AS 3600	MASONRY COMPRESSIVE STRENGTH MPa (fm)	MASONRY SALT RESISTANCE GRADE	DURABILITY CLASSIFICATION OF BUILT-IN COMPONENTS	MORTAR MIX	
				GP PORTLAND CEMENT LIME SAND	f _c MPa
A1 /A2.	≥6.3	GENERAL PURPOSE	RE:(GALVANISED)	1.0 : 1.0 :6.0	2.8000
B1	≥6.3	GENERAL PURPOSE	RE:(GALVANISED)	1.0 : 1.0 :6.0	2.8000
B2	≥6.7	EXPOSURE	RE:(STAINLESS)	1.0 :1.5 :4.5	2.8000

ALL MASONRY WALLS SUPPORTING SLABS AND BEAMS SHALL HAVE A PER-GREASED IWO LAYER GALVANIZED STEEL SPLIT JOINT BETWEEN CONCRETE AND MASONRY.

ALL MASONRY WALLS SUPPORTING OR SUPPORTED BY CONCRETE FLOOR SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE CONCRETE

NO LOAD BEARING WALLS SHALL BE SEPARATED FROM CONCRETE ABOVE BY 20mm THICK CLOSED CELL POLYTHENE STRIP

MASONRY SHALL BE ARTICULATED IN ACCORDANCE WITH TECHNICAL NOTE 61 FROM THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA. VERTICAL CONTROL JOINTS SHALL NOT EXCEED 6 METERS MAXIMUM CENTER AND 4 METERS MAXIMUM FROM CORNERS IN MASONRY WALLS AND BETWEEN NEW AND EXISTING BRICKWORK.

MASONRY RETAINING WALLS ARE TO BE BACK FILLED WITH EITHER OF THE FOLLOWING MATERIALS COARSE GRAINED SOIL WITH LOW SILT CONTENT

- RESIDUAL SOIL CONTAINING STONES
- FINE SILT SAND
- GRANULAR MATERIALS WITH LOW CLAY CONTENT

BLOCK WORK

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700.

REINFORCED CONCRETE BLOCK WORK SHALL COMPLY WITH THE FOLLOWING UNO

- BLOCKS :GRADE 15 CONFORMING TO AS 1500
- MORTAR :1 CEMENT / 0.25 LIME / 3 SAND
- PROVIDE CLEANOUT HOLES AT BASE OF WALL & ROD CORE HOLES TO REMOVE PROTRUDING MORTAR FINS
- CORE FILLING :f_c = 20 MPa, 10 AGG, 230 SLUMP +/- 30 mm
- COVER :55 mm MINIMUM FROM OUTSIDE OF BLOCK WORK.

BACK FILL TO RETAIN WALLS TO BE FREE DRAINING GRANULAR MATERIAL, UNO PROVIDE SUBSOIL DRAIN BEHIND WALL AND AT WEEP HOLES

VERTICAL CONTROL JOINTS SHALL BE PROVIDED AT 10 m MAX CENTRE'S

NO ADMIXTURES SHALL BE USED WITH OUT THE WRITTEN APPROVAL OF THE ENGINEER

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306

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ENGINEERING CALCULATIONS BY:
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RBP(Tas)(CC5556). RES NSW (BDC04601),MAIB (8225) ,JP(Qual).

DIST CODE:
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SHEET:
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A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215, AUSTRALIA
DRAWING TITLE:
GENERAL NOTES

Date: 15/07/2025
Revision:
00
DRAWING NO:
02

JOB REFERENCE NO: 133054

BULK EARTHWORKS

THIS SITE SHALL BE STRIPPED A MINIMUM DEPTH OF 50MM UNDER PAVEMENTS AND BUILDINGS ALL EXISTING FILL ORGANIC MATERIAL. REFUSE AND ROOTS SHALL BE REMOVED.

AFTER APPROVAL, THE EXCAVATED SUB GRADE LEVEL SHALL BE PROOF ROLLED FOR A MINIMUM SIX (6) PASSES USING A VIBRATING ROLLER, MINIMUM WEIGHT TEN TONNES, SOFT WET AND UNSUITABLE SPOTS SHALL BE REMOVED AND REPLACED BY APPROVED SITE MATERIAL AS DIRECTED BY THE SUPERINTENDENT, THE SUB SHALL BE COMPACTED TO NOT LESS THAN 100% STANDARD DRY DENSITY RATION WITHIN ±2% OF THE OPTIMUM MOISTURE CONTENT IN THE ACCORDANCE WITH AS1289 5.1.1 AND 5.4.1.

WHERE FILL IS REQUIRED TO ACHIEVE ROAD PAVEMENT SUB GRADE LEVEL, IT SHALL BE APPROVED RIPPED SANDSTONE HAVING MAXIMUM PARTICLE SIZE OF 75MM UNLESS DIRECTED OTHERWISE IT SHALL BE PLACED IN 150MM LOOSE LAYERS AND COMPACTED TO NOT LESS THAN 100% STANDARD DRY DENSITY WITHIN ±2% OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH AS1289 5.1.1 AND 5.4.1.

ALL BATTERS SHALL BE IN 4 MAXIMUM UNO.

SUB GRADE PREPARATION
(FOR SLABS ON GROUND AND RAFT SLABS)

THE SITE SHALL BE EXCAVATED TO THE LEVELS SHOWN ON RELEVANT DRAWINGS.

THE SITE SHALL BE STRIPPED TO A MINIMUM OF 50MM EXPOSE RESIDUAL MATERIAL PRIOR TO FILL OPERATION ALL EXISTING FILL, ORGANIC MATTER, REFUSE AND ROOTS SHALL BE REMOVED, EXCEPT IF APPROVED ENGINEER FILL IS PRESENT.

PROOF ROLL THE EXCAVATED AREA BEFORE FILLING AREAS OF LOCAL SOFTENING REVEALED DURING EXCAVATION OR STRIPPING SHALL BE COMPACTED TO 100% STANDARD DRY DENSITY RATION TO AS1289 5.1.1.

CLAY MATERIAL FREE OF ORGANIC MATERIAL FROM CUT AREAS MAY BE USED AS ENGINEERING FILLS PROVIDED THAT IT HAS BEEN TESTED, ALL IMPORTED SELECTED FILL SHALL BE TESTED AND APPROVED BY ENGINEER.

ALL FILL SHALL BE COMPACTED TO NO LESS THAN 98% STANDARD DRY DENSITY RATIO WITHIN ±2% OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH AS1289 5.1.1 & 5.4.1.

ALL SELECT ROAD BASE AND HARD-CORE FILLING SHOWING UNDER SLABS ON DRAWINGS SHALL BE COMPACTED TO NOT LESS THAN 98% MODIFIED DRY DENSITY RATIO WITHIN ±2% OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH AS1289 5.1.1 & 5.4.1

ALL FILLING SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE PROJECT GEOTECHNICAL ENGINEER, WHO SHALL SUPPLY CERTIFICATES OF COMPACTION FOR THE SITE.

FOOTINGS

STRIP AND PAD FOOTINGS HAVE BEEN DESIGNED FOR A SAFE BEARING VALUE OF 150 KPa INTO STIFF CLAY. UNO, BORED PIERS HAVE BEEN DESIGNED FOR A SAFE END BEARING VALUE OF 250 KPa INTO STIFF CLAY WITH A SKIN FRICTION OF 25 KPa UNO.

SLABS ON GROUND HAVE BEEN DESIGNED FOR MIN CBR 10 ACCORDANCE WITH CEMENT & CONCRETE ASSOCIATION, CONCRETE INDUSTRIAL FLOOR & PAVEMENT DESIGN UNO.

REINFORCED CONCRETE

ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY CONTRACT DOCUMENTS.

CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS UNO.

CONCRETE ELEMENT	SLUMP (MM)	MAX. SIZE	CEMENT	F'c AT 28 DAYS - MPa	ADMIXTURE
FOOTINGS	80	20	A	25	-
PIERS & CAPS	80	20	A	32	-
SLAB ON GROUNDS	80	20	A	25	-
SUSPENDED SLABS	80	20	A	32	-
WALLS & COLUMNS	80	20	A	32	-

SLAB & FOOTINGS NOTES

CONCRETE ELEMENT	MINIMUM CLEAR CONCRETE COVER TO REINFORCEMENT INCLUDING TIES AND STIRRUPS		
	CAST AGAINST FORMS COMPLYING WITH CURRENT SAA CODE	NO FORMWORK	
	IN SHELTERED LOCATION (MM)	EXPOSED TO GROUND OR WEATHER (MM)	
PAD FOOTINGS	-	65	75
STRIP FOOTINGS	-	50	65
PIERS & CAPS	-	65	75
COLUMNS	35	50	75
WALLS	20	40	65
BEAMS	25	40	65
SLABS	25	40	65

COVER TO REINFORCEMENT SHALL BE OBTAINED BY THE USER OF APPROVED BAR CHAIRS. ALL CHAIRS SHALL BE SPACED AT 1000 CENTRES MAXIMUM.

ALL CONCRETE SHALL BE MECHANICALLY VIBRATED, VIBRATORS SHALL NOT BE USED TO SPREAD CONCRETE.

SIZE OF CONCRETE ELEMENTS DOES NOT INCLUDE THICKNESS OF APPLIED FINISHES.

NO HOLE OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DESIGNS SHALL BE MADE ON CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.

CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO APPROVAL OF THE ENGINEER. ALL CONSTRUCTION JOINTS SHALL BE SCRABBLED OVER THE WHOLE FACE AND ANY UNSOUND MATERIAL REMOVED.

REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, KIT IS NOT NECESSARILY SHOWN IN TRUE PROJECT.

SPICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITION SHOWN OR AS APPROVED BY THE ENGINEER WHERE LAP LENGTH IS NOT SHOWN. IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF REINFORCEMENT AS SPECIFIED IN AS3600.

CAGES AND HOOKS SHALL BE STANDARD UNLESS SHOWN OTHERWISE.

WELDING OF THE REINFORCEMENT WILL NOT BE PERMITTED UNLESS SHOWN OF STRCUTURAL DRAWINGS OR APPROVED BY THE ENGINEER.

PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL BY THE ENGINEER.

REINFORCEMENT SYMBOLS

N - DENOTES DEFORMED GRADE 500 NORMAL DUCTILITY REINFORCING BARS TO AS/NZS 4671

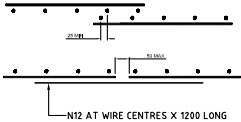
R - DENOTES PLAIN ROUND GRADE 250 NORMAL DUCTILITY REINFORCING BARS TO AS/NZS 4671

SL - DENOTES DEFORMED GRADE 500 LOW DUCTILITY REINFORCING MESH TO AS/NZS 4671

RL - DENOTES DEFORMED GRADE 500 LOW DUCTILITY REINFORCING MESH TO AS/NZS 4671

L-TM - DENOTES DEFORMED GRADE 500 LOW DUCTILITY TRENCH MESH TO AS/NZS 4671

ALL REINFORCED FABRIC SHALL COMPLY WITH AS1303 AND AS1304 AND SHALL BE SUPPLIED IN FLAT SHEET.



CONTROL JOINTS

SAWN CONTROL JOINTS (SJ) SHALL BE PLACED AT COLUMN CENTRES, AT A MAXIMUM OF 6.0M CENTERS IN EACH DIRECTION, WITH THE RATIO OF THE PANEL SHORT SIDE NOT TO EXCEED 1.5:1.

DEPRESS MESH WIRE TO MAINTAIN 30MM COVER AND CUT EVERY SECOND BAR ALONG SAWN CONTROL JOINT LINE.

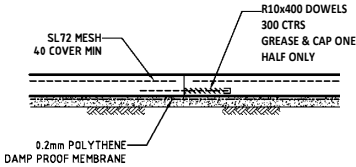
CONSTRUCTION CONTROL JOINTS (CJ) SHALL BE LOCATED AT COLUMN CENTERS, AT A MAXIMUM OF 18.0M CENTERS IN EACH DIRECTION.

DOWELS R10 x 400mm LONG TO BE LOCATED @ 300mm CENTERS ALONG CONSTRUCTION JOINT.

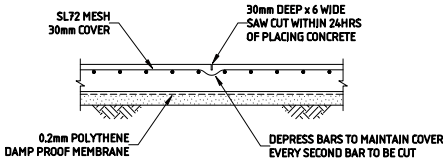
GREASE AND CAP ONE HALF ONLY OF EACH DOWEL.

NO ADMIXTURES SHALL BE USED WITH OUT THE WRITTEN APPROVAL OF THE ENGINEER.

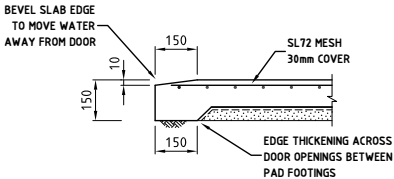
CONTROL JOINT DETAIL:



CONSTRUCTION JOINT DETAIL (CJ)



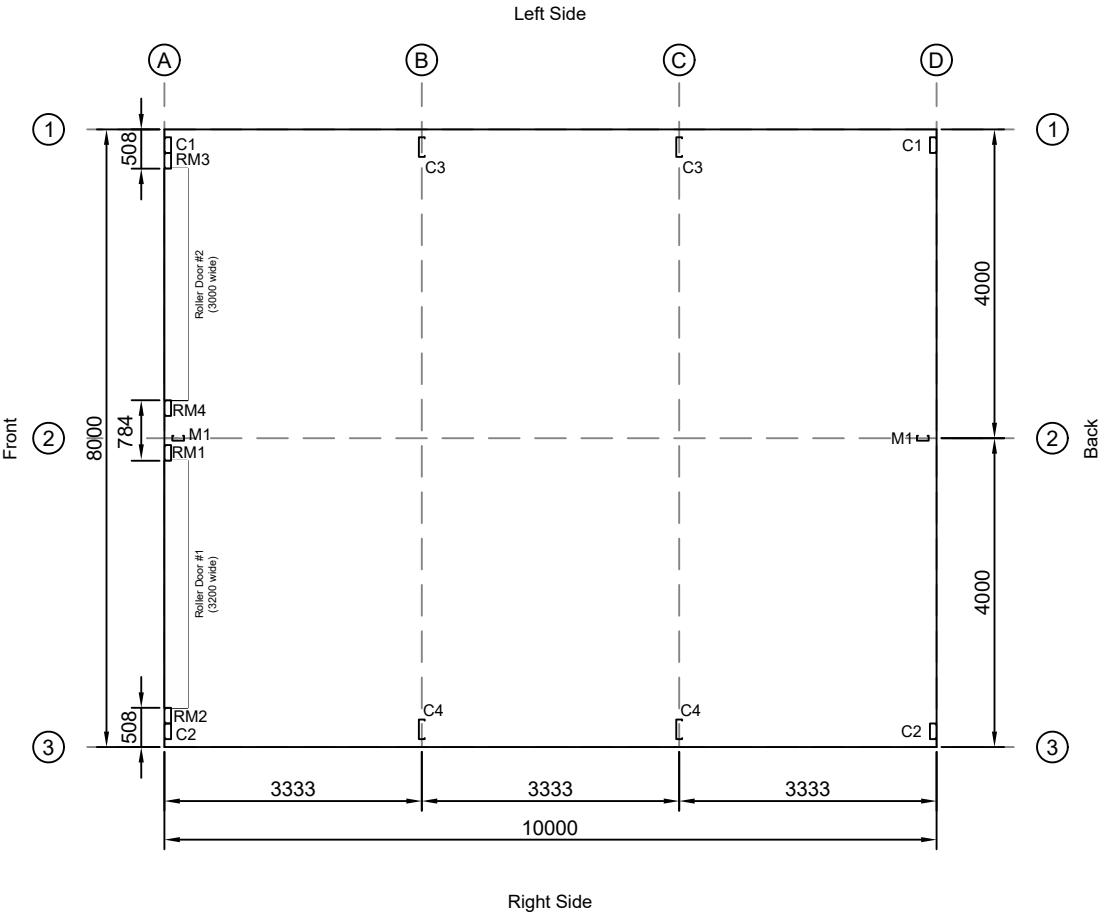
SAWN CONTROL JOINT DETAIL (SJ)



TYPICAL CROSSOVER DETAIL
AT ROLLER DOOR OPENINGS

NOTE:
Foundation design is based on A, S or M soil types only with a fill depth of up to 300mm max.

Member schedule		
Mark	Description	Section
C1	Column	C20019
C2	Column	C20019
C3	Column	C25024
C4	Column	C25024
M1	Mullion	C15019
RM1	RD Mullion	C20019
RM2	RD Mullion	C20019
RM3	RD Mullion	C20019
RM4	RD Mullion	C20019



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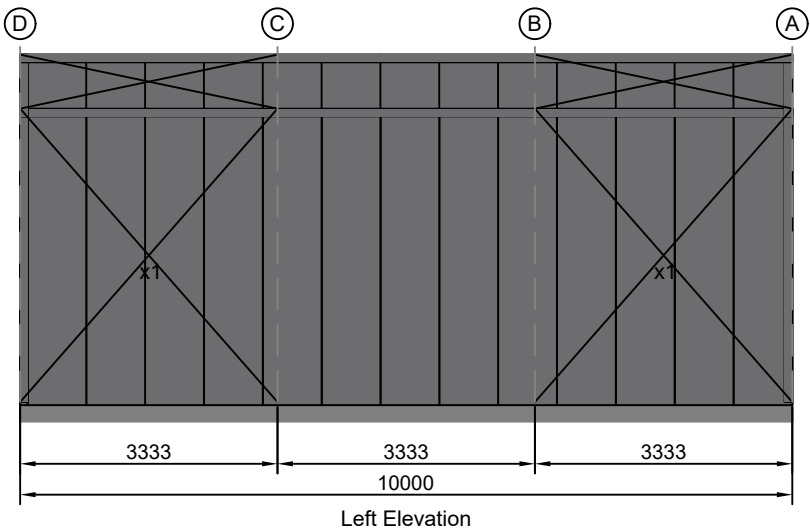
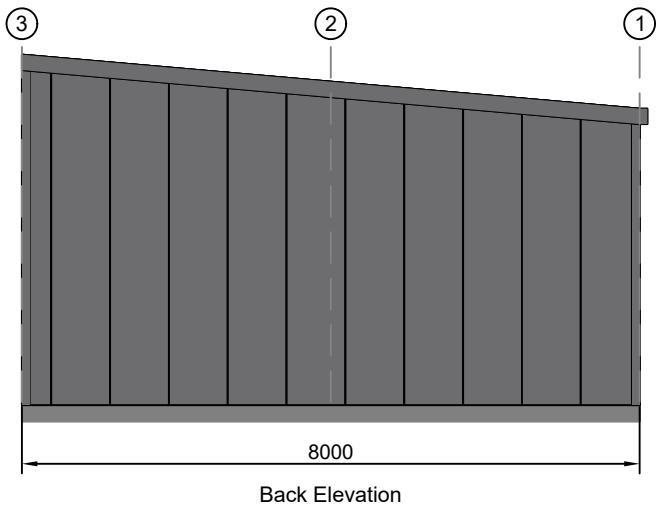
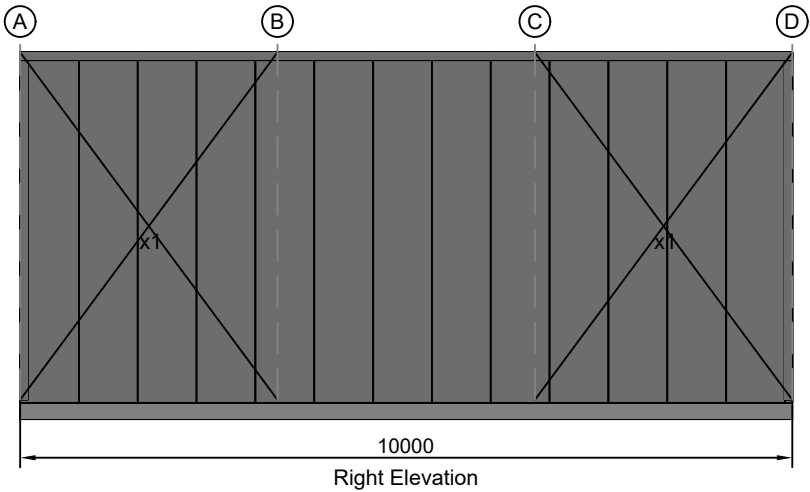
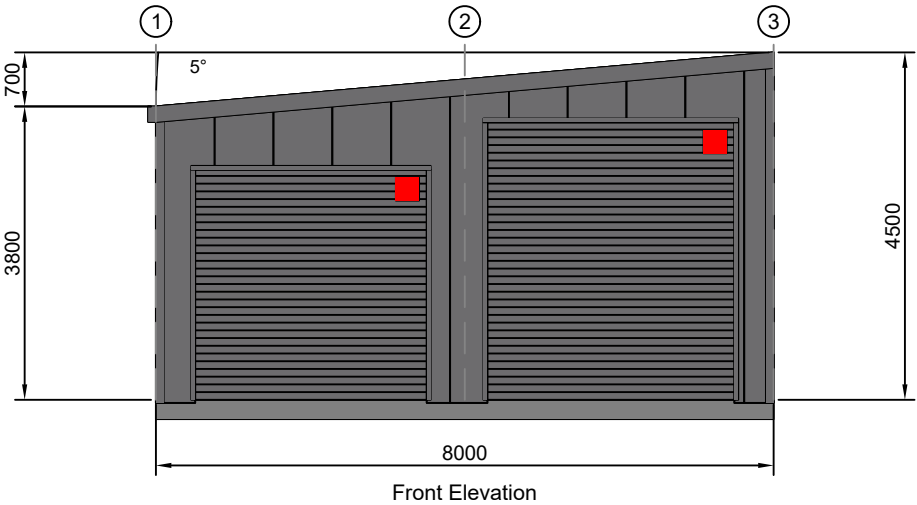


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RBP(Tas)(CC5556) RES NSW (BDC04601), MAIB (9225) ,JP(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
4 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FLOOR PLAN

Date: 15/07/2025
Revision:
00
DRAWING NO:
04



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RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225). JPV(Qual).

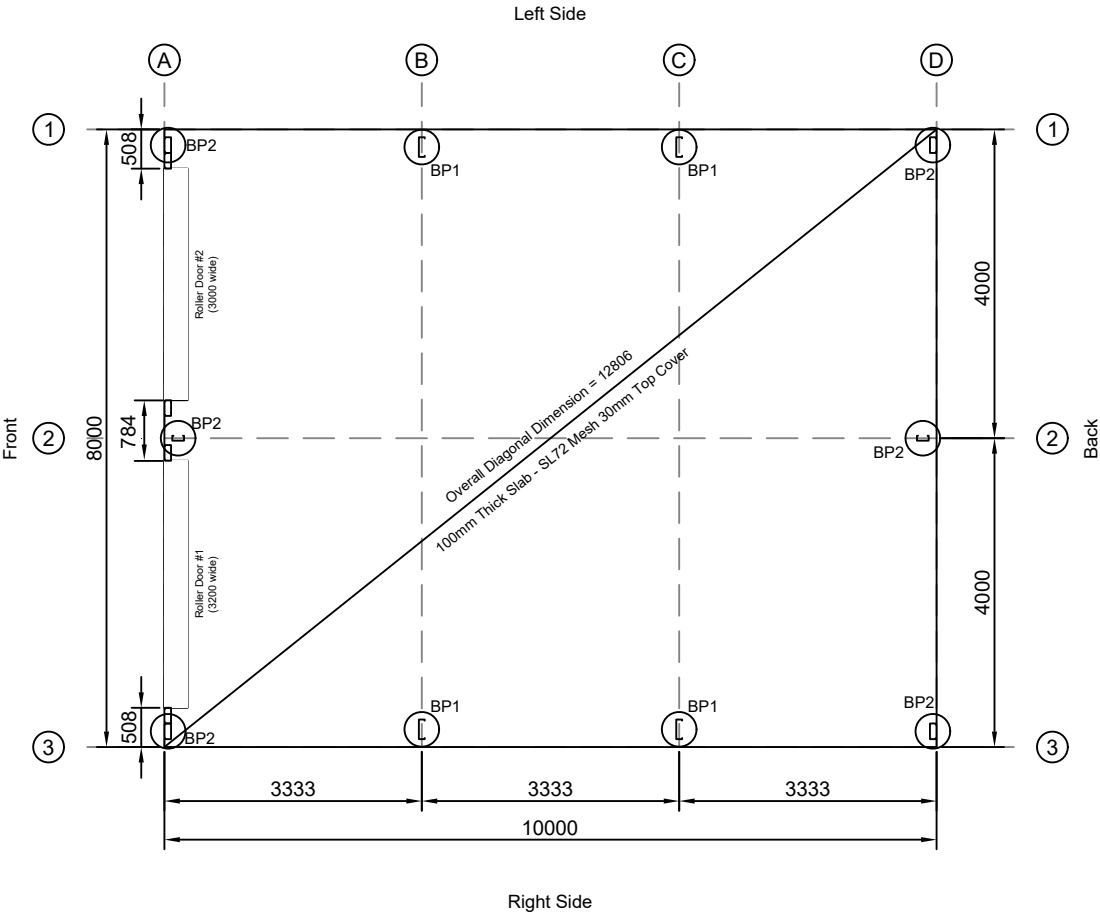
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SCALE:
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SHEET:
5 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
ELEVATIONS (ALL)

Date: 15/07/2025
Revision:
00
DRAWING NO.:
05

Footing schedule		
Mark	Description	Size
BP1	Bored Pier Footing	450mm W * 450mm D
BP2	Bored Pier Footing	450mm W * 400mm D

Sawn Control Joints Required
Refer Footing Notes on Page 3



NOTE:
Foundation design is based on A, S or M soil types only
with a fill depth of up to 300mm max.

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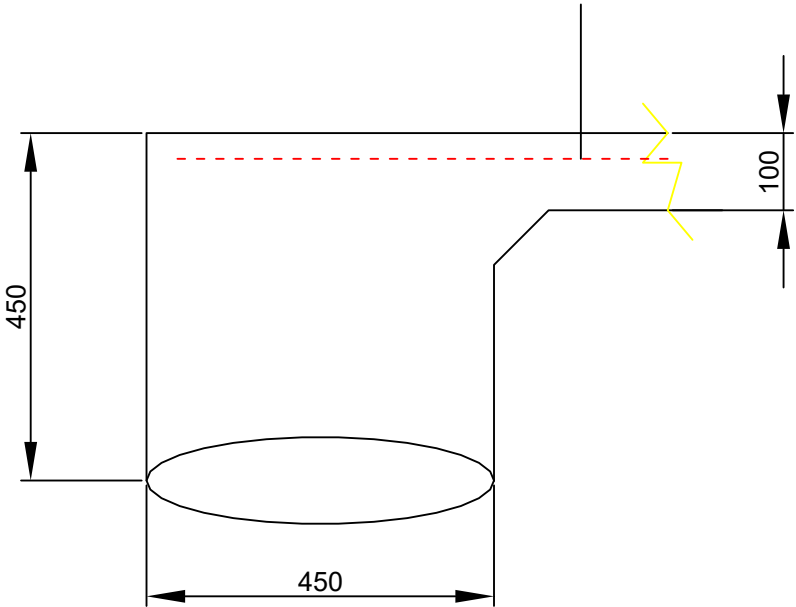
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SHEET:
6 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FOOTINGS PLAN

Date: 15/07/2025
Revision:
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DRAWING NO:
06

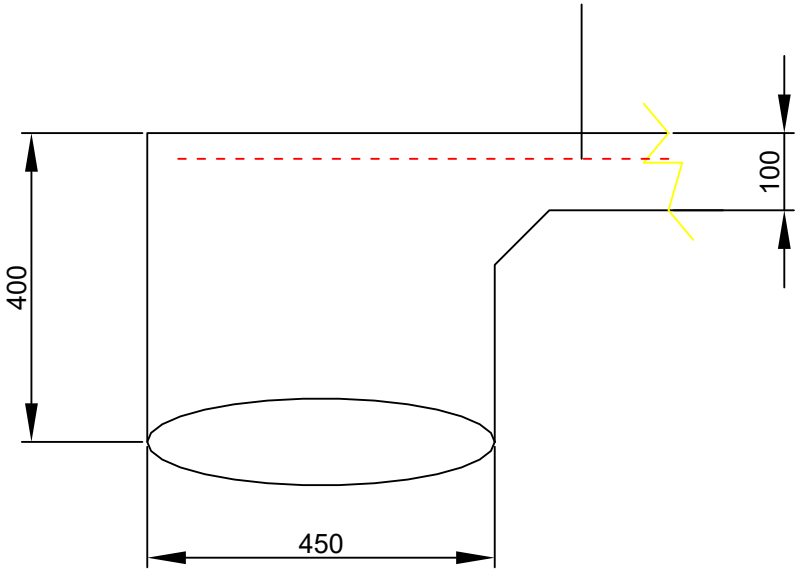
Main Frame footing detail (BP1)

SL72 minimum reinforcement fabric



End Frame footing detail (BP2)

SL72 minimum reinforcement fabric



NOTE:
Foundation design is based on A, S or M soil types only
with a fill depth of up to 300mm max.

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE

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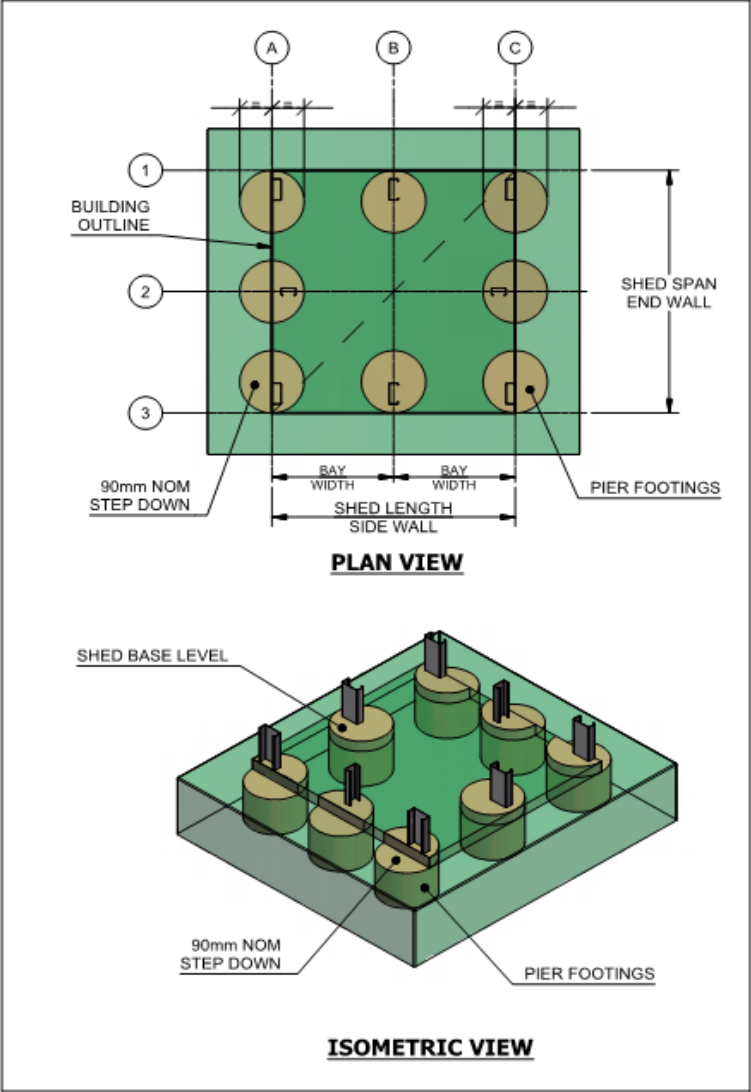
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RBN(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225). JP(Qual).

DIST CODE:
A2TA
SCALE:
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SHEET:
7 OF 35
A4 SHEET

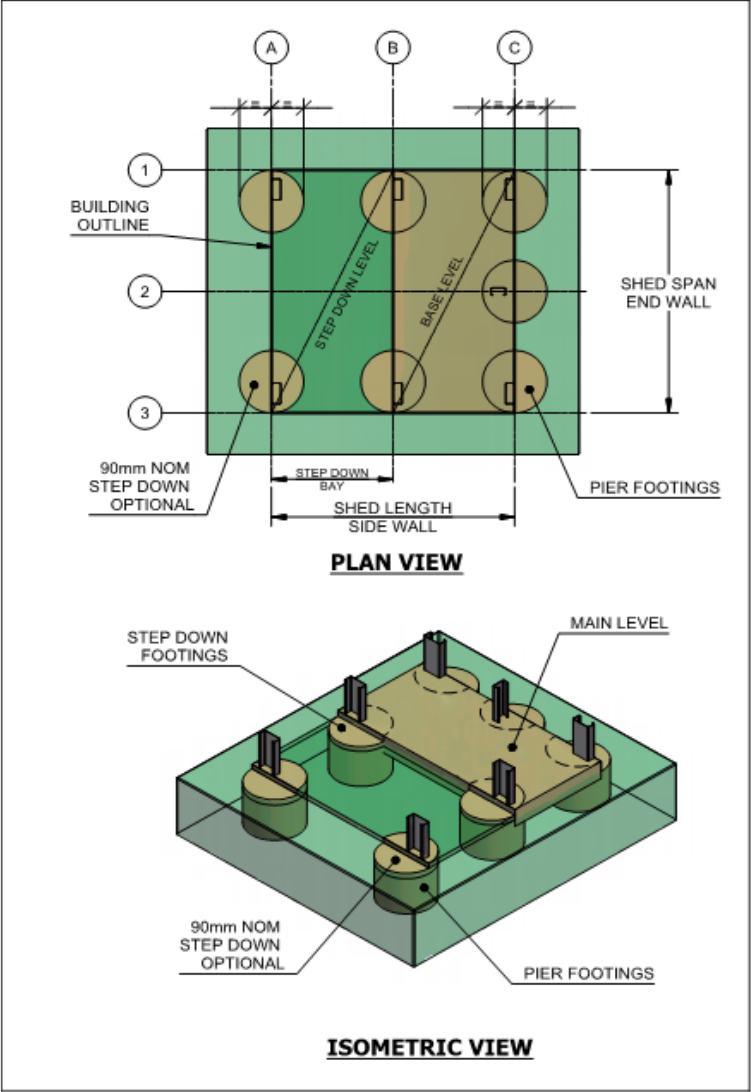
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166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FOOTINGS DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
07

JOB REFERENCE NO: 133054



PIER FOOTING - DETAIL
RECOMMENDED LAYOUT



PIER FOOTING - GARAPORT DETAIL
RECOMMENDED LAYOUT

NOTE: TOP OF SLAB SHOULD BE A MINIMUM OF 50MM ABOVE FINISHED GROUND LEVEL (FGL).
FOR DRAINAGE, THE FGL SHOULD BE GRADED AWAY FROM THE FOOTING/SLAB EDGE TO THE
SITE DRAINAGE SYSTEM

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DIST CODE:
A2TA
SCALE:
1:100
SHEET:
8 OF 35
A4 SHEET

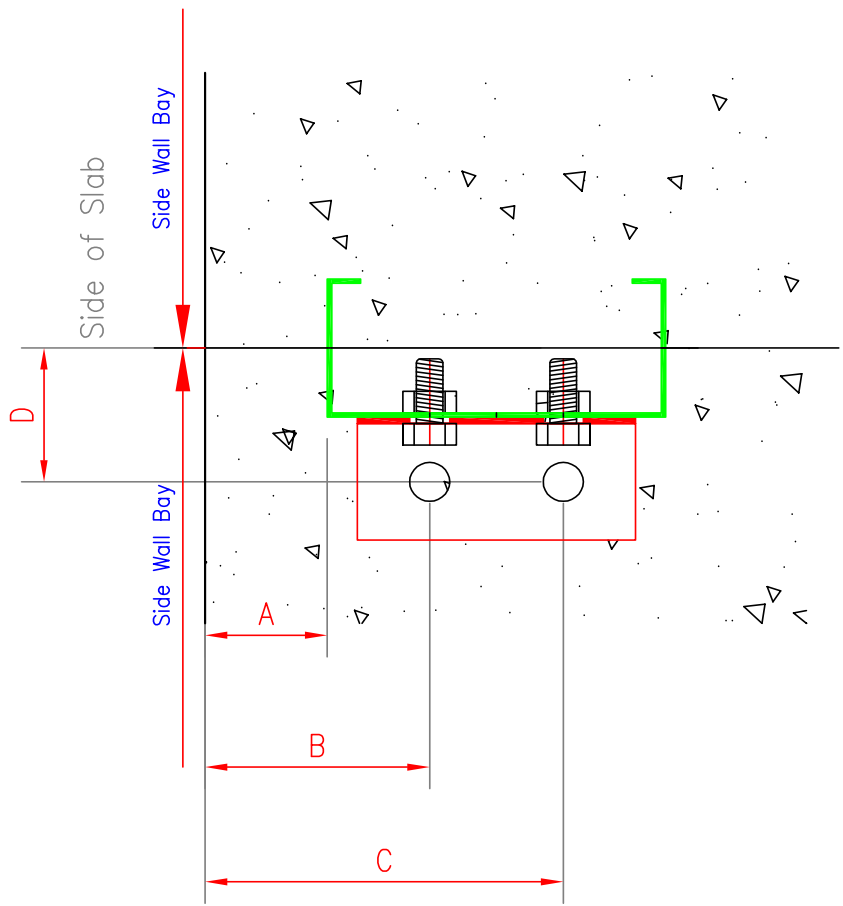
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TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FOOTINGS ASSEMBLY

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
08

Main Building - Side Wall Column [SWC]

A = 102 mm
B = 149 mm
C = 309 mm
D = 76 mm



CONNECTION DETAIL:
SIDE WALL COLUMN 2 BOLT SINGLE

REVISION:	1	DRAWING NO:
REVISION DATE:	05/12/18	SWC2S

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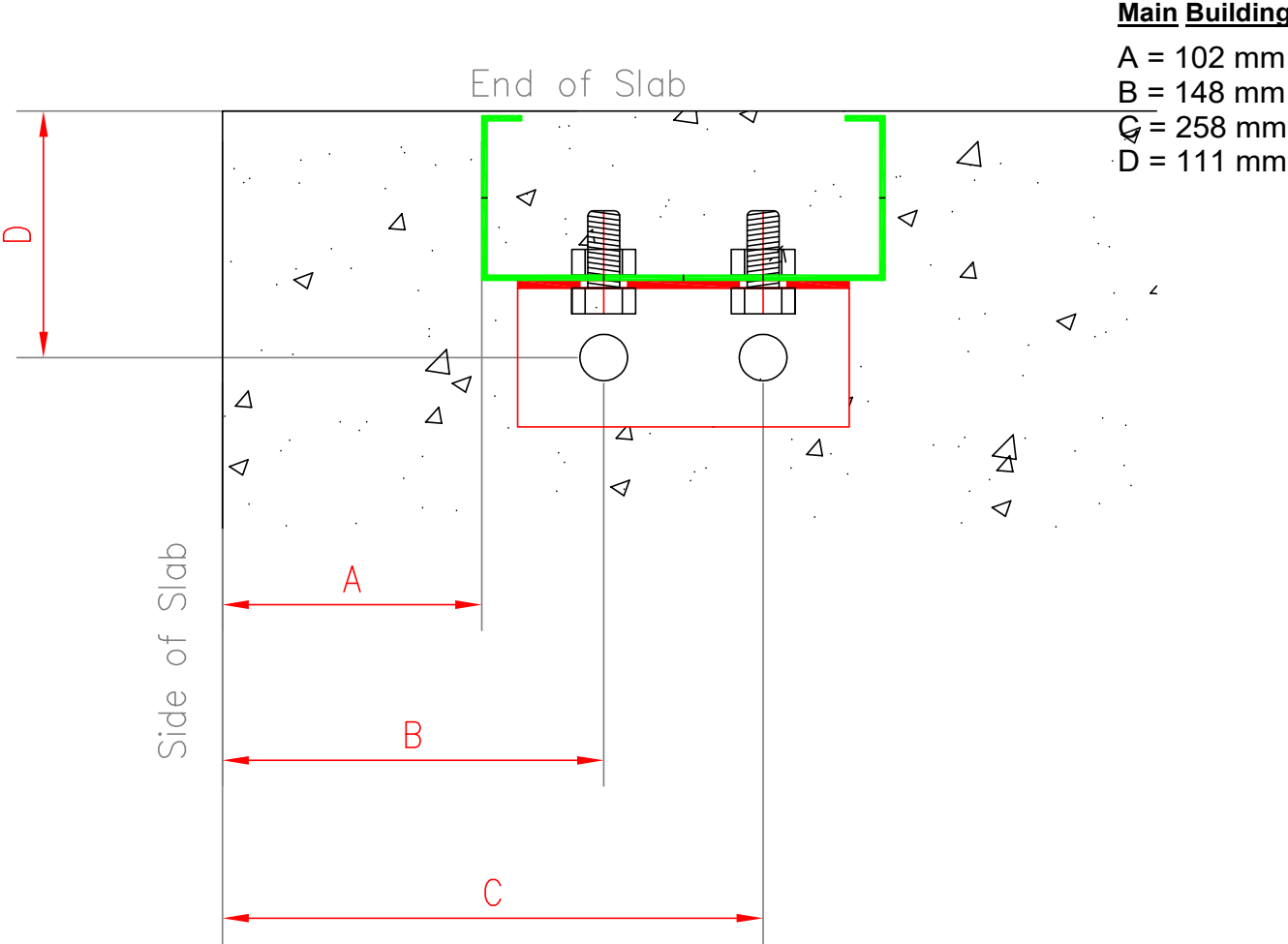
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DIST CODE:
A2TA
SCALE:
1:100
SHEET:
9 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FOOTING CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
09



CONNECTION DETAIL:
END WALL COLUMN 2 BOLT SINGLE

REVISION:	1	DRAWING NO:
REVISION DATE:	05/12/18	EWC2S

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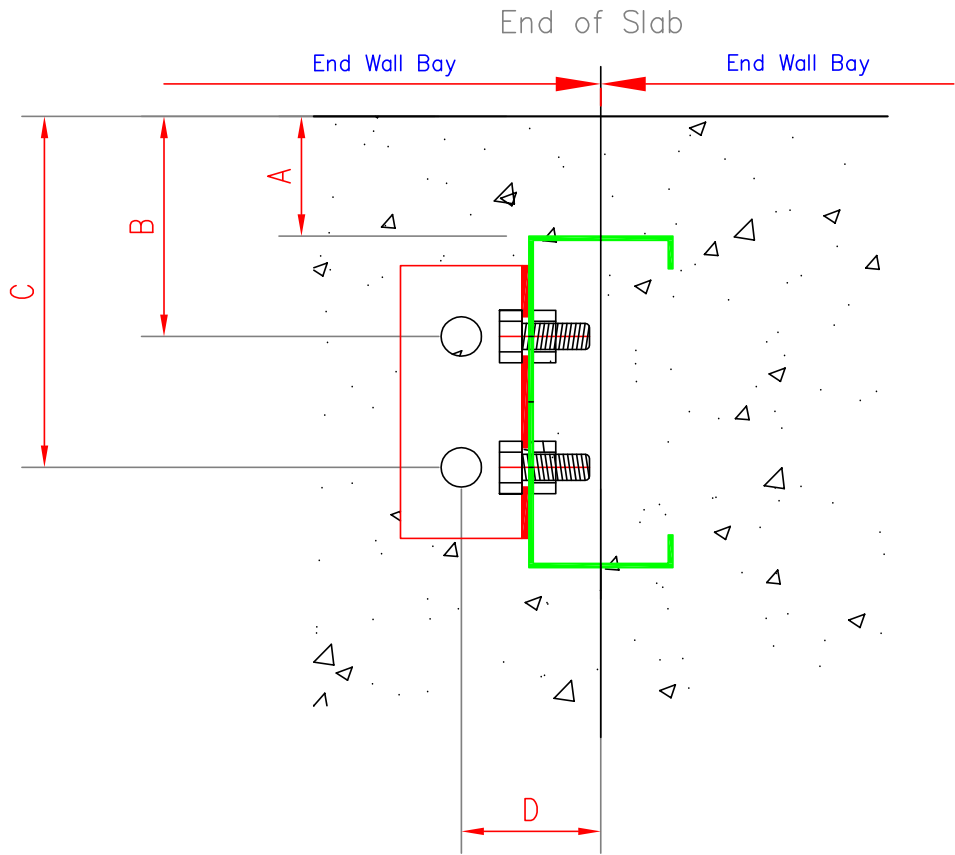
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RBP/Tas/1CC5556) RES NSW (BDC04601)/MAIB (9225) /JP(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
10 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FOOTING CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision: 00
DRAWING NO: 10



Main Building - End Wall Mullion [EWM]

A = 102 mm
B = 148 mm
C = 208 mm
D = 64 mm

CONNECTION DETAIL:
END WALL MULLION 2 BOLT SINGLE

REVISION:	1	DRAWING NO:
REVISION DATE:	05/12/18	EWM2S

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APEC Engineer, InspE(Aus)

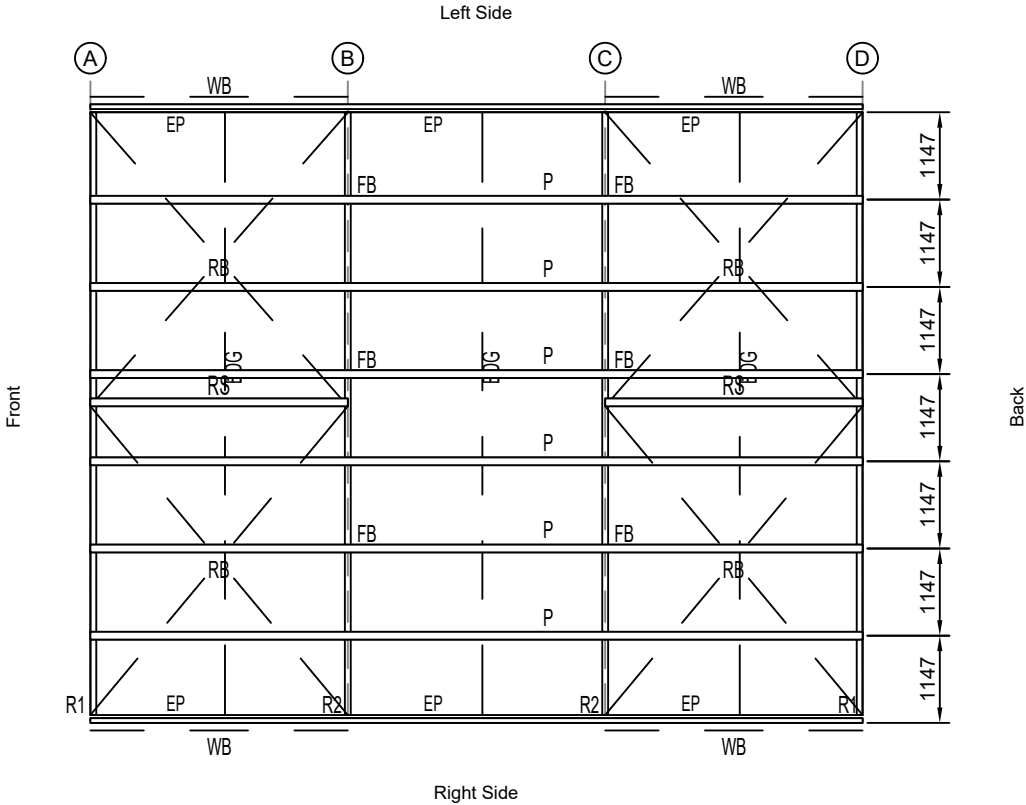
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SHEET:
11 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
FOOTING CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
11

MEMBER SCHEDULE		
Mark	Description	Section
RS	Roof Strut	C15015
RB	Roof Brace	(1)32x1.6
WB	Wall Brace	(1)32x1.6
P	Purlin	Z10012
BDG	Bridging	TS2242
FB	Fly Bracing	Flybrace 50mm Feed x 834mm
EP	Eave Purlin	C10012
R1	Rafter	C20019
R2	Rafter	C25024



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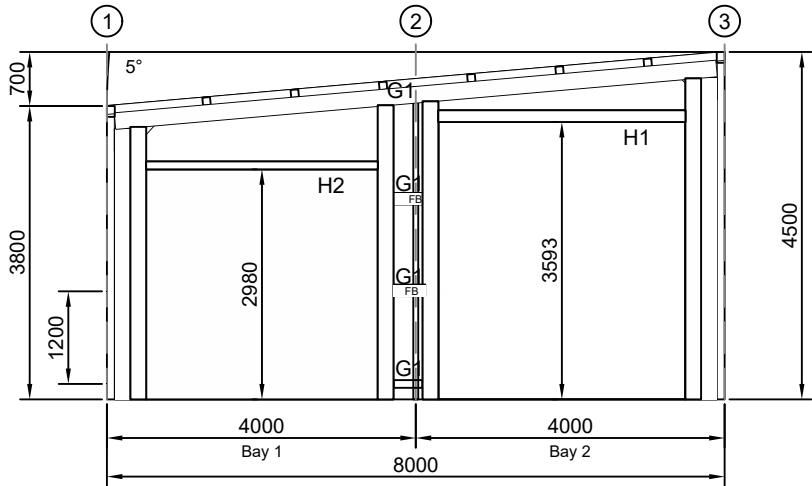
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RBP(Tas)(CC5556). RES NSW (BDC04601),MAIB (9225), J(PQual).

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
12 OF 35
A4 SHEET

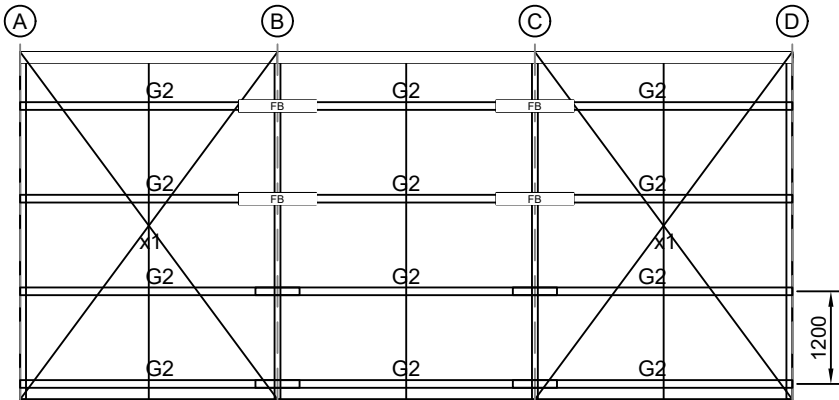
CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
STEEL MARKING - ROOF

Date: 15/07/2025
Revision:
00
DRAWING NO:
12

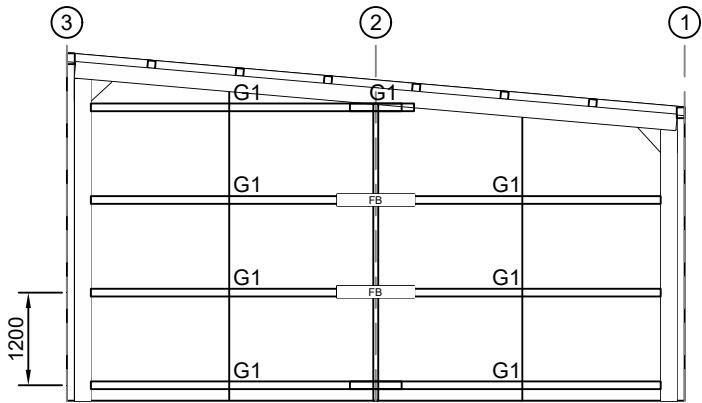
MEMBER SCHEDULE		
Mark	Description	Section
G1	Girt (End)	Z10012
G2	Girt (Side)	Z10012
FB	Fly Bracing	Flybrace 50mm Feed x 834mm
H1	Header	C15012
H2	Header	C10012



Front Elevation Frame

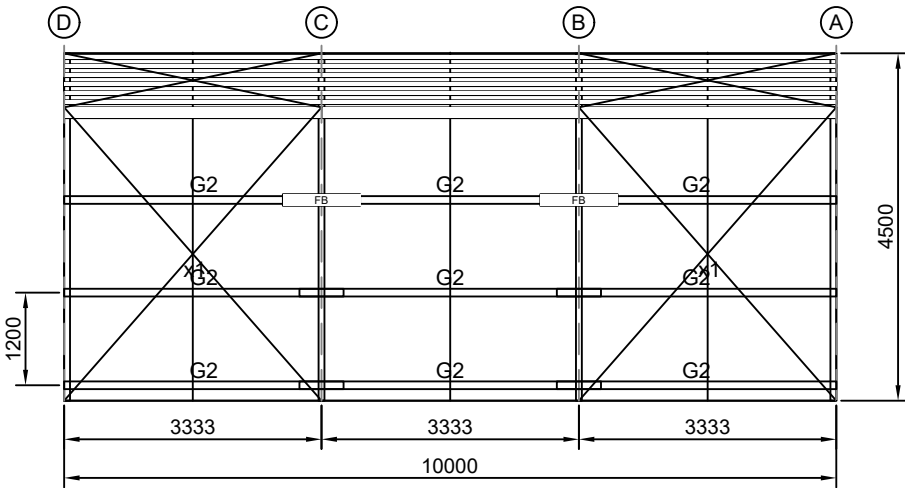


Right Elevation Frame



Back Elevation Frame

Please refer to left and right frame drawings for side wall girt locations and spacing.
Do not use or reference front or back frame drawings for side wall girt locations and spacing.



Left Elevation Frame

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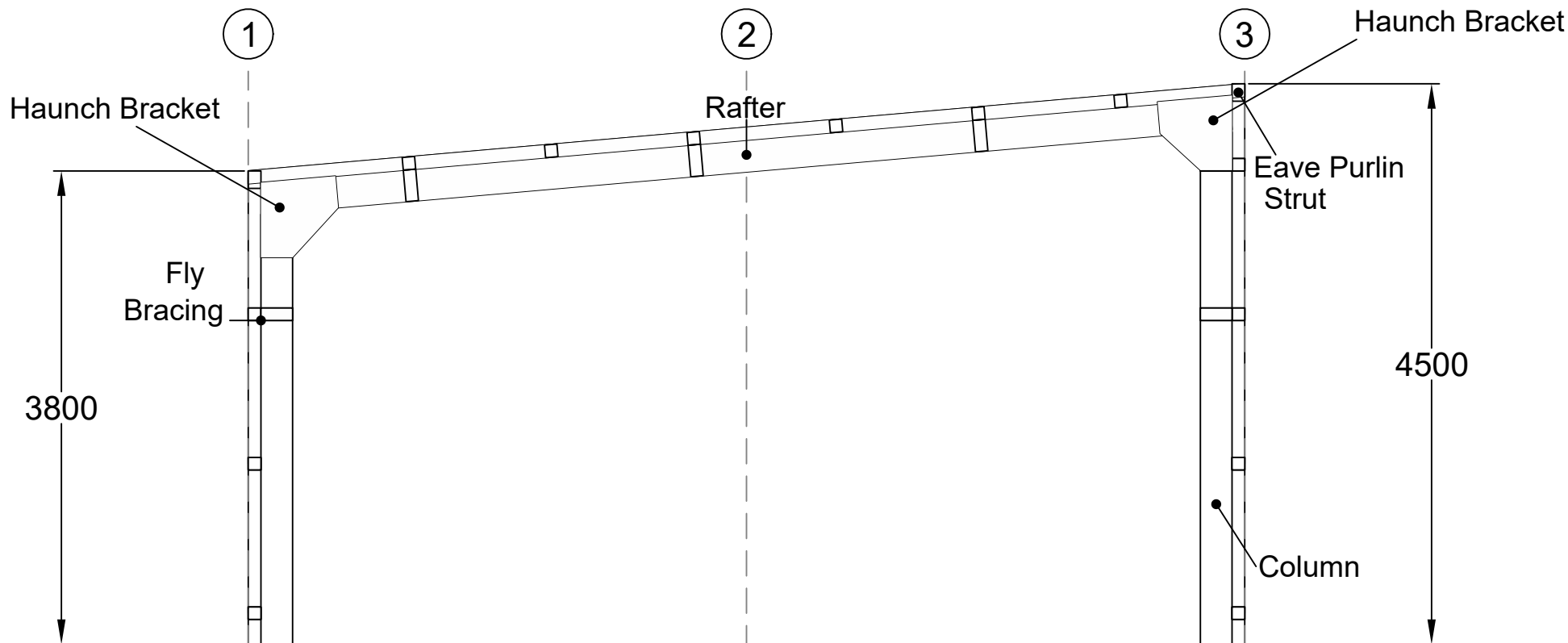


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RBP(Tas)(CC5556), RES NSW (BDC04601), MAIB (8225), JPV(Qual).

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
13 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
STEEL MARKING - ELEVATIONS

Date: 15/07/2025
Revision:
00
DRAWING NO:
13



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RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225). JP(Qual).

DIST CODE:

A2TA

SCALE:

1:50

SHEET:

14 OF 35

A4 SHEET

CLIENT:

TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA

DRAWING TITLE:

CROSS SECTION

Date: 15/07/2025

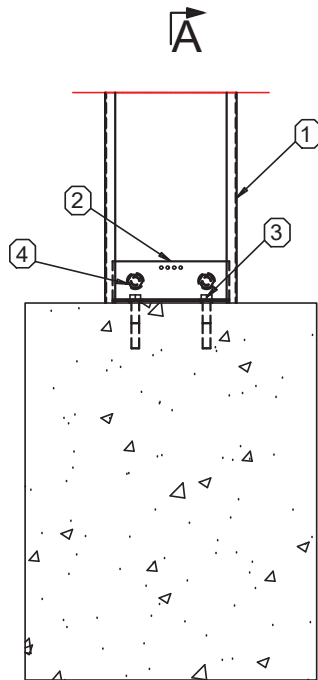
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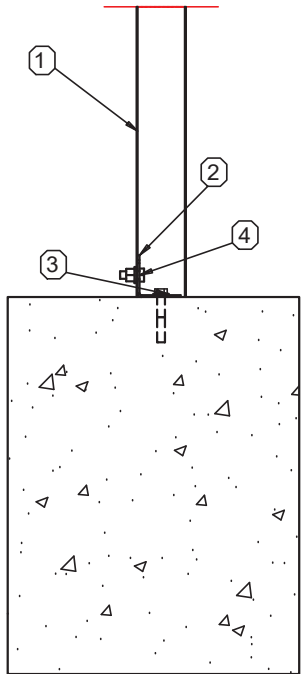
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14

JOB REFERENCE NO: 133054



DETAIL
SCALE 1:10

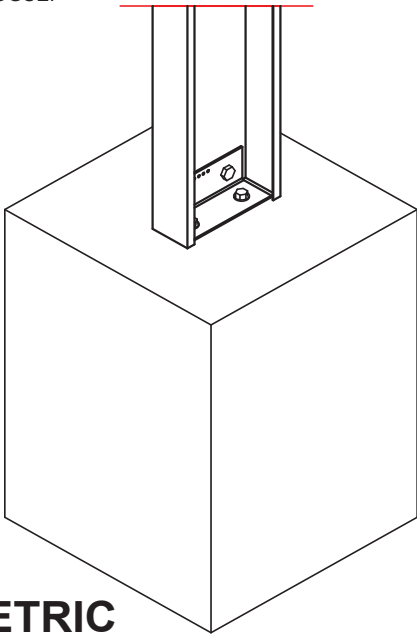


A - A

Item #:	QTY.	Part #:	Description:	Length:
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2	1	BC2003	BRACKET	N/A
3	2	M16Ø ANCHOR BOLT	FIXING	110mm
4	2	M16Øx8.8TB	FIXING	30mm

GENERAL NOTES

1. REFER TO FOOTINGS PLAN AND DETAILS FOR FOOTING INFORMATION.
2. FOR BOLT MIN. CONCRETE EDGE DISTANCE & EMBEDMENT REFER TO BOLT SPECIFICATION AND CATALOGUE.



ISOMETRIC
SCALE 1:10

Drawing N° : BC2003C
REVISION: 01

COLUMN BASE CLEAT CONNECTION

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au

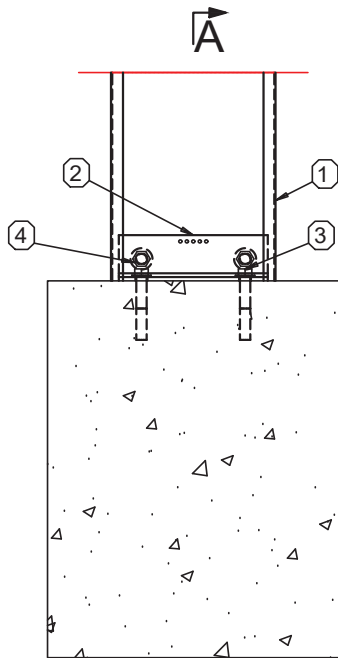


ENGINEERING CALCULATIONS BY:
Summertime Pty Ltd
Consulting Engineers
ACN: 108 898 433 ABN: 42 108 898 433
Ronald A Bell
Grad Cert (Tech Mgt)
BEng Civil (Hons)
FIE Aust (891940), CPEng, NER
APEC Engineer, InspE (Aust)
Approved:
RPEQ (0715) RBPNT (055965) RPE (Vic) (PE000254)
RBP (Tas) (CC5556), RES NSW (BDC04601), MAIB (8225), JPI (Qual)

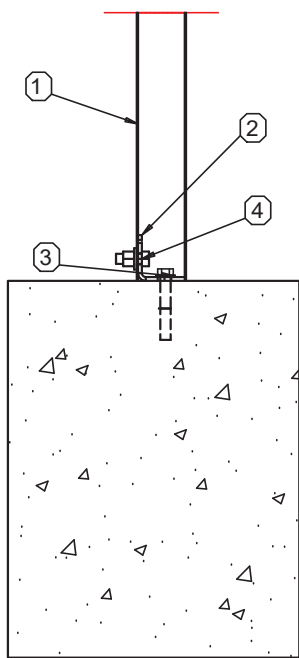
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SCALE:
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SHEET:
15 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
15



DETAIL
SCALE 1:10

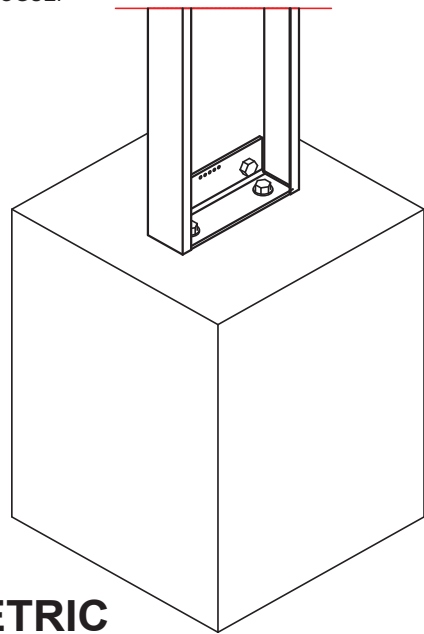


A - A

Item #:	QTY.	Part #:	Description:	Length:
1	1	C250	COLUMN	REFER DRAWINGS
2	1	BC2506	BRACKET	N/A
3	2	M16Ø ANCHOR BOLT	FIXING	110mm
4	2	M16Øx8.8TB	FIXING	30mm

GENERAL NOTES

- REFER TO FOOTINGS PLAN AND DETAILS FOR FOOTING INFORMATION.
- FOR BOLT MIN. CONCRETE EDGE DISTANCE & EMBEDMENT REFER TO BOLT SPECIFICATION AND CATALOGUE.



ISOMETRIC
SCALE 1:10

Drawing N° : BC2506C
REVISION: 00

COLUMN BASE CLEAT CONNECTION

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au

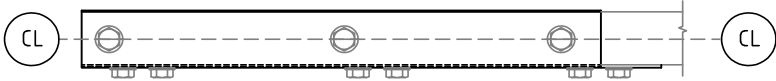
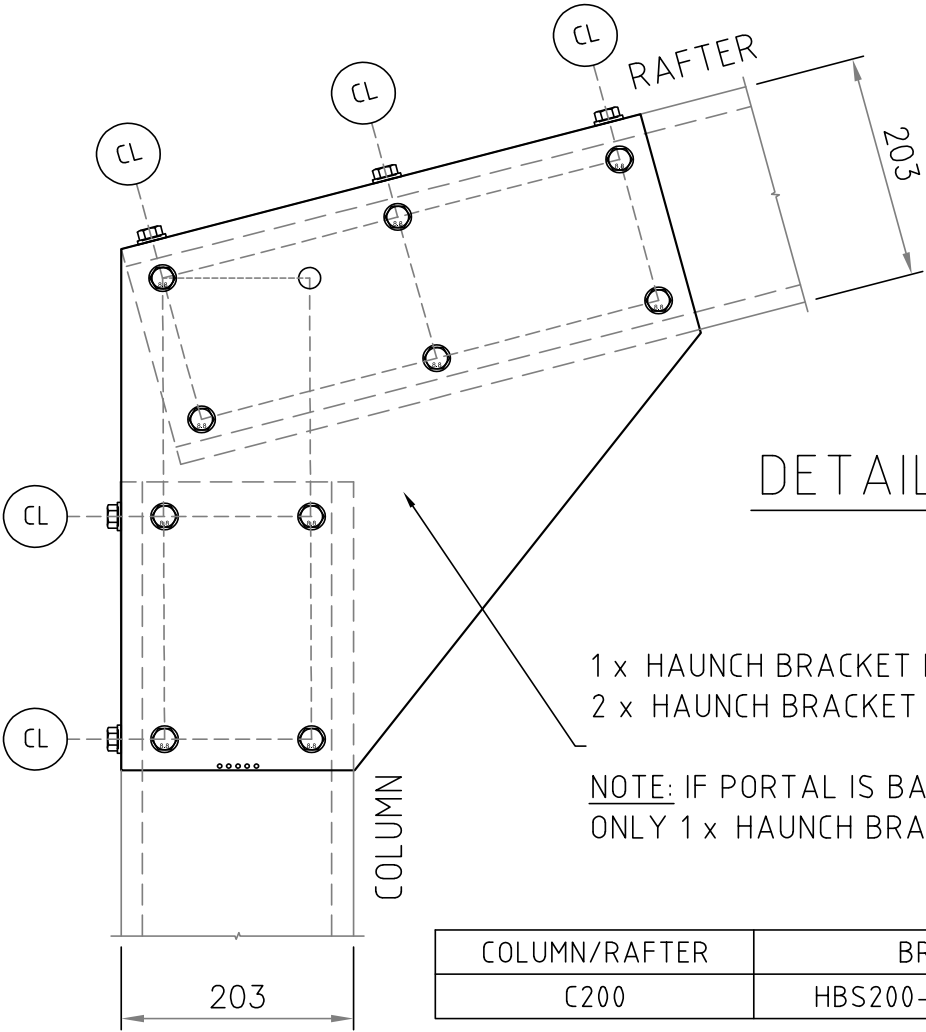


ENGINEERING CALCULATIONS BY:
Summertime Pty Ltd
Consulting Engineers
ACN: 108 898 433 ABN: 42 108 898 433
Ronald A Bell
Grad Cert (Tech Mgt)
BEng Civil (Hons)
FIE Aust (891940), CPEng, NER
APEC Engineer, InspE (Aust)
Approved:
RPEQ (0715) RBP/NT/00596(S) RPE/Vic/ (PE000204-1)
RBP/Tas/CC5556), RES NSW (BDC04601), MAIB (9225), JPV(Qual)

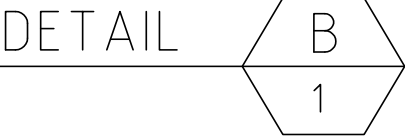
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SHEET:
16 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
16



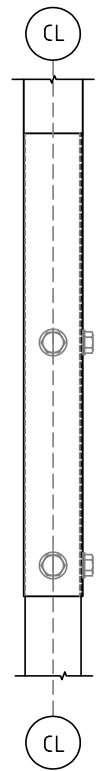
PLAN VIEW



DETAIL

1 x HAUNCH BRACKET FOR SINGLE SECTIONS
2 x HAUNCH BRACKET FOR DOUBLE SECTIONS

NOTE: IF PORTAL IS BACK TO BACK AND HAS A KNEE BRACE
ONLY 1 x HAUNCH BRACKET IS REQUIRED



SIDE VIEW

COLUMN/RAFTER	BRACKET	FIXING BOLTS
C200	HBS200-(ROOF PITCH)	MIN 12-M16 8.8/TB

DATE: 01.08.2024	Title: C200 HAUNCH CONNECTION	Drawing No. AHB200
REVISION: 02		

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au

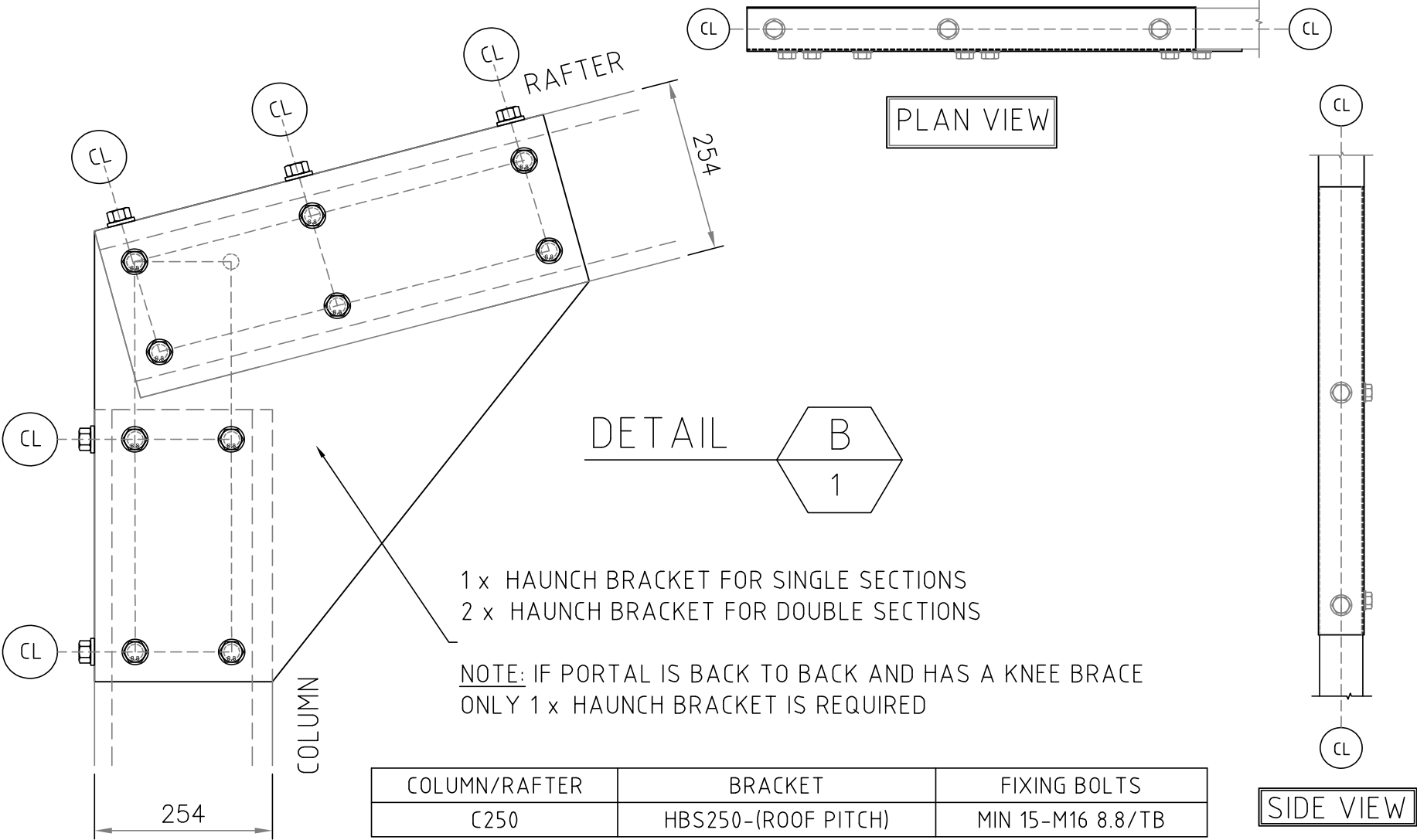


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www.summertime.com.au
Phone: 07 3800 0973
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RPEIC (0715)/NBP/NT/160596(S)/RPE/Vic/1 (PE0002564)
RBP/Tas/160596(S). RES NSW (BDC04601)/MAIB (9225) /JP(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
17 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
17



DATE: 01.08.2024
REVISION: 02

Title:
C250 HAUNCH CONNECTION

Drawing No.
AHB250

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



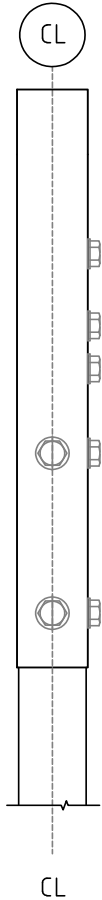
ENGINEERING CALCULATIONS BY:
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www.summertime.com.au
Phone: 07 3800 0973
Approved:
RPEQ (0715)/NBPNT(60596ES)/RPE(Vic) (PE0002254)
RBP(Tas)(CC5556), RES NSW (BDC04601), MAIB (9225), JPE(Qual)

DIST CODE:
A2TA
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1:100
SHEET:
18 OF 35
A4 SHEET

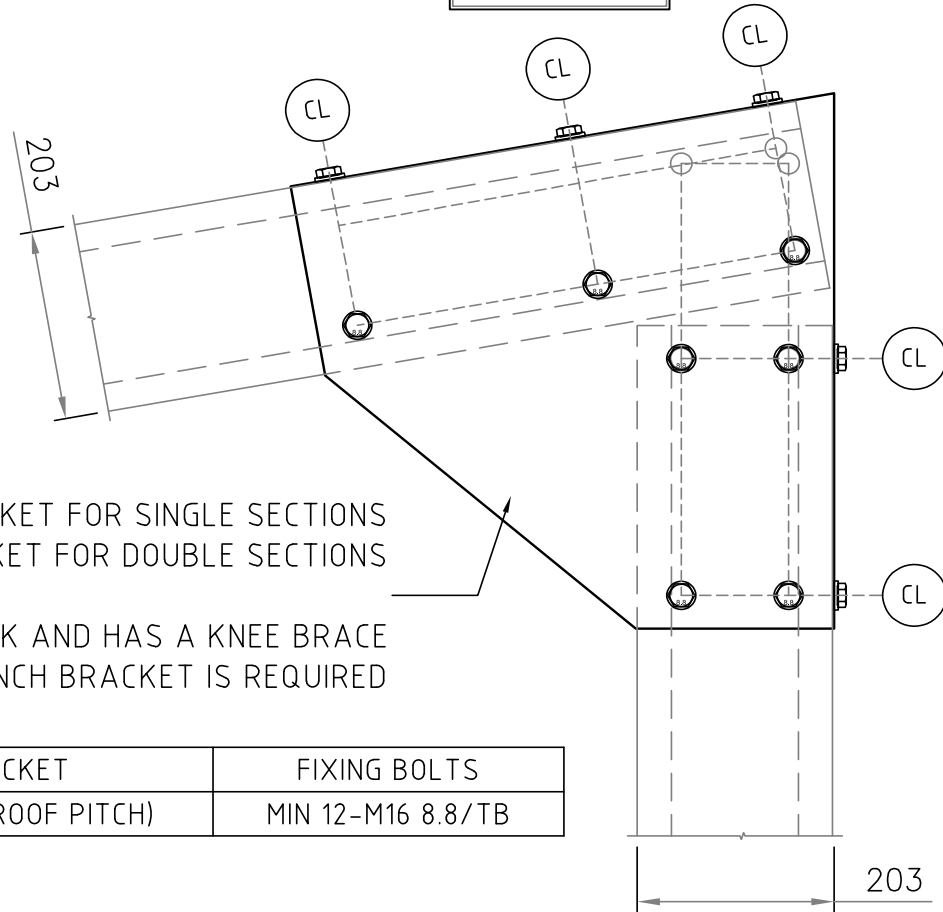
CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
18

SIDE VIEW



PLAN VIEW



1 x AHRENS REVERSE HAUNCH BRACKET FOR SINGLE SECTIONS
2 x AHRENS REVERSE HAUNCH BRACKET FOR DOUBLE SECTIONS

NOTE: IF PORTAL IS BACK TO BACK AND HAS A KNEE BRACE
ONLY 1 x AHRENS REVERSE HAUNCH BRACKET IS REQUIRED

COLUMN/RAFTER	BRACKET	FIXING BOLTS
C200	RHBS20-(ROOF PITCH)	MIN 12-M16 8.8/TB

DATE: 13.02.2017
REVISION: 02

Title: C200 REVERSE HAUNCH CONNECTION

Drawing No. ARHB200

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



ENGINEERING CALCULATIONS BY:
Summermore Pty Ltd
Consulting Engineers
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ron@summermore.com.au
www.summermore.com.au
Phone: 07 3800 0973
Approved:
RPEQ (0715)/RBPNT/60596(S) RPE/Vic (PE0002564)
RBP/Tas(C5556). RES NSW (BDC04601)/MAIB (9225) /JP(Qual)

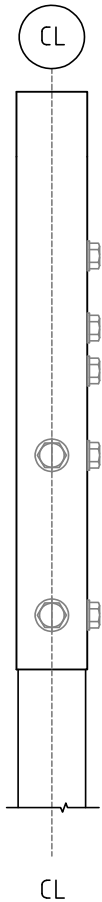
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SCALE:
1:100
SHEET:
19 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

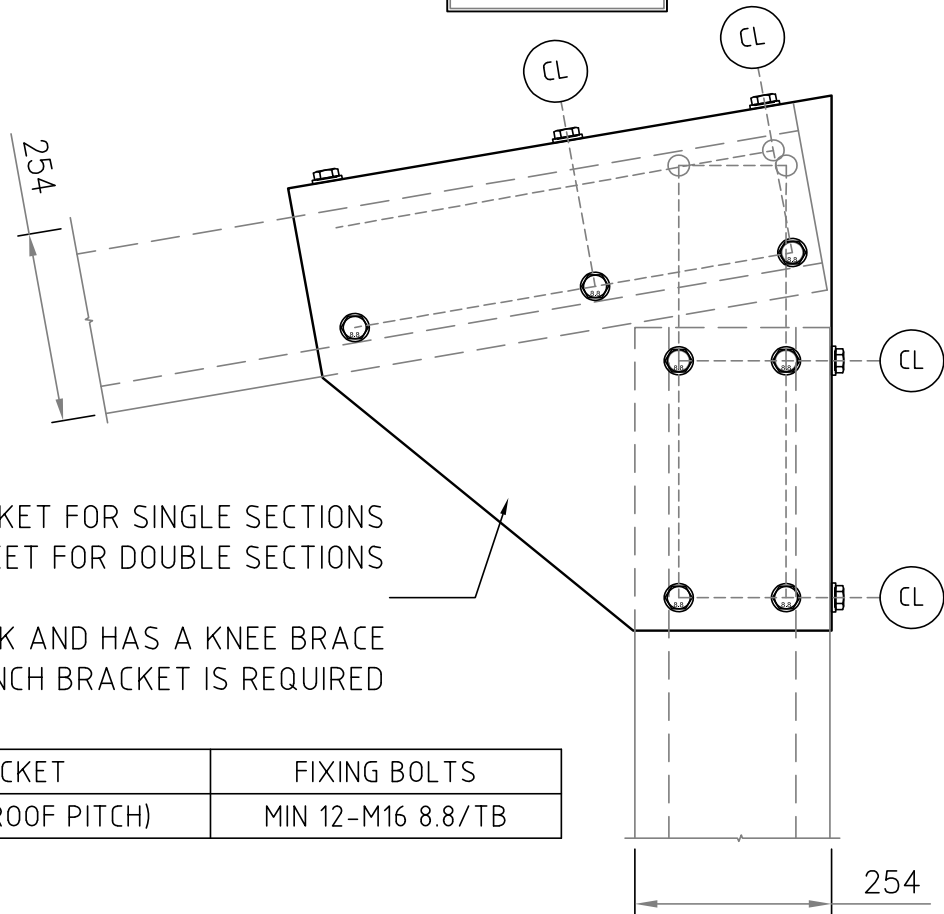
JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
19

SIDE VIEW



PLAN VIEW



1 x AHRENS REVERSE HAUNCH BRACKET FOR SINGLE SECTIONS
2 x AHRENS REVERSE HAUNCH BRACKET FOR DOUBLE SECTIONS

NOTE: IF PORTAL IS BACK TO BACK AND HAS A KNEE BRACE
ONLY 1 x AHRENS REVERSE HAUNCH BRACKET IS REQUIRED

COLUMN/RAFTER	BRACKET	FIXING BOLTS
C250	RHBS25-(ROOF PITCH)	MIN 12-M16 8.8/TB

DATE: 13.02.2017
REVISION: 02

Title: C250 REVERSE HAUNCH CONNECTION

Drawing No. ARHB250

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



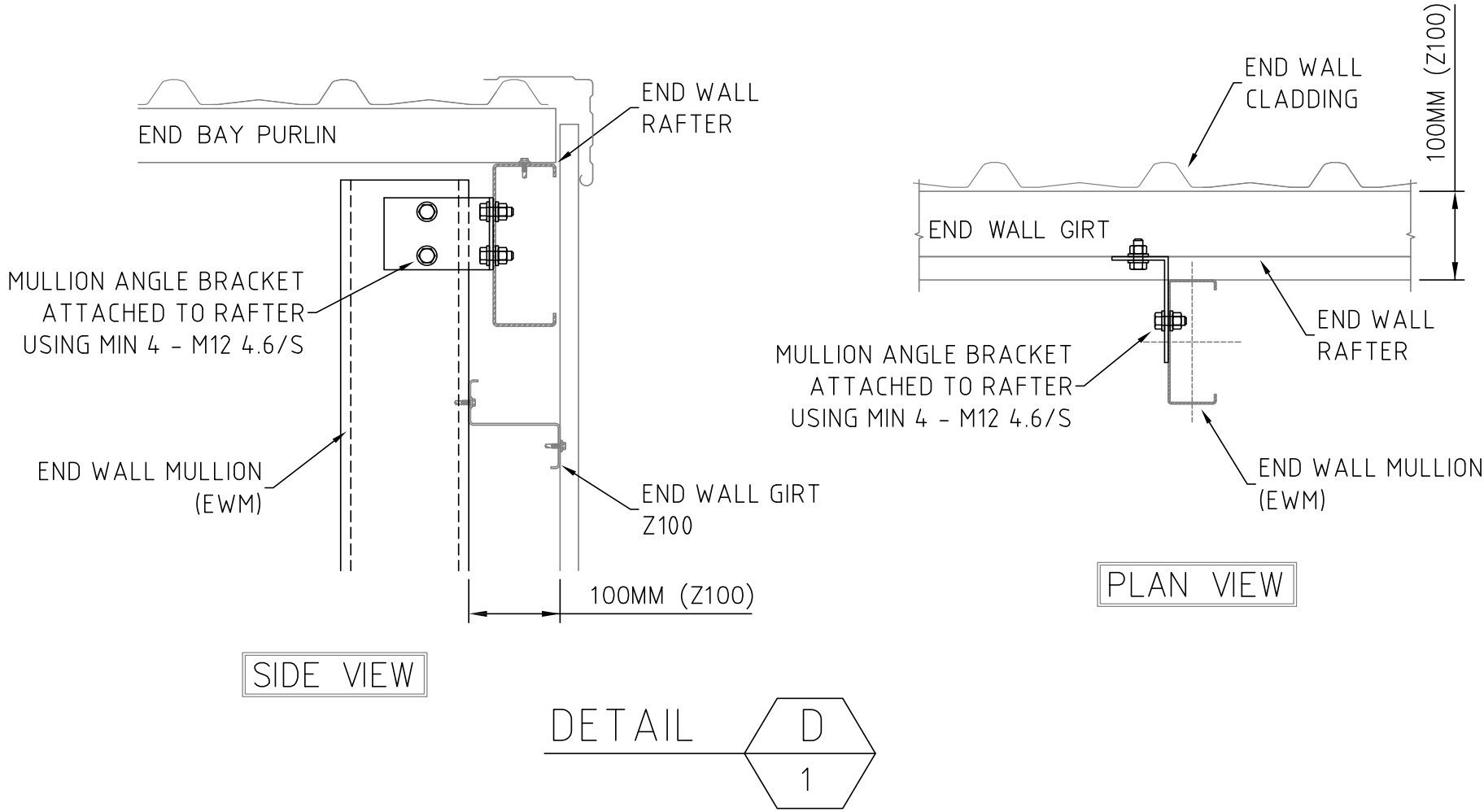
ENGINEERING CALCULATIONS BY:
Summertime Pty Ltd
Consulting Engineers
ACN: 108 898 433 ABN: 42 108 898 433
ron@summertime.com.au
www.summertime.com.au
Phone: 07 3800 0973
Approved:
RPEQ (0715)/RBPNT/160596(S) RPE/Vic (PES002354)
RBP/Tas (CC5556), RES NSW (BDC04601), MAB (9225), JP(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
20 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
20



NOTE: FOR END WALL MULLION SPACINGS PLEASE CHECK THE FLOOR PLAN DRAWING FOR POSITIONING

DATE: 04.04.2024	Title: END WALL MULLION TOP CONNECTION	Drawing No. AMTC-100
REVISION: 02		

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au

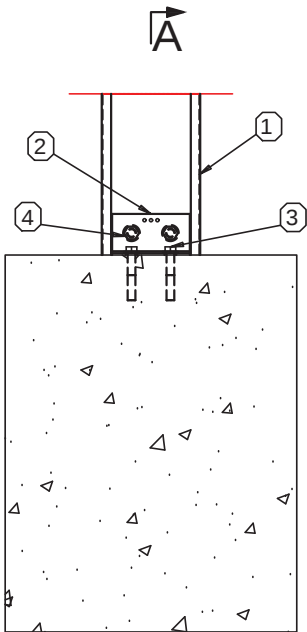


ENGINEERING CALCULATIONS BY:
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RPEQ (0715)/NBPNT/160596(S) RPE/Vc/ (PE0002564)
RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225). JPI(Qual).

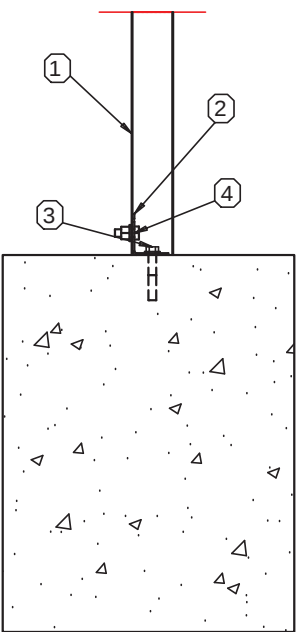
DIST CODE:
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SCALE:
1:100
SHEET:
21 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
21



DETAIL
SCALE 1:10

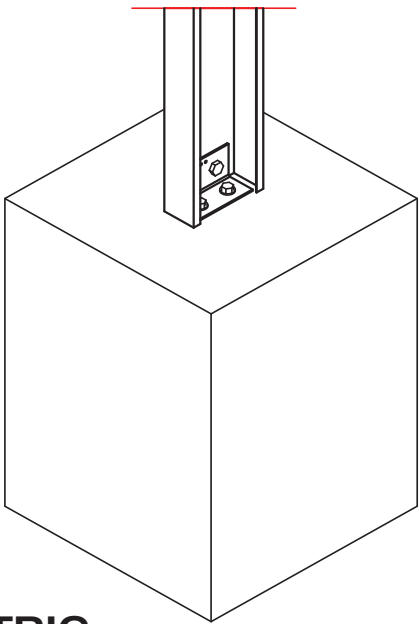


A - A

Item #:	QTY.	Part #:	Description:	Length:
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2	1	BC1503	BRACKET	N/A
3	2	M12Ø ANCHOR BOLT	FIXING	100mm
4	2	M12Øx8.8TB	FIXING	30mm

GENERAL NOTES

1. REFER TO FOOTINGS PLAN AND DETAILS FOR FOOTING INFORMATION.
2. FOR BOLT MIN. CONCRETE EDGE DISTANCE & EMBEDMENT REFER TO BOLT SPECIFICATION AND CATALOGUE.



ISOMETRIC
SCALE 1:10

Drawing N° : **AMBC1503C**
REVISION: **01**

END WALL MULLION BASE CLEAT CONNECTION

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



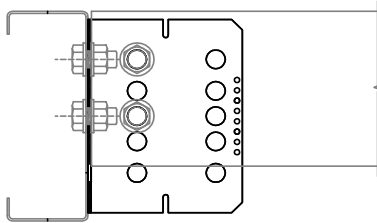
ENGINEERING CALCULATIONS BY:
Summertime Pty Ltd
Consulting Engineers
ACN: 108 898 433 ABN: 42 108 898 433
ron@summertime.com.au
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Phone: 07 3800 0973
Approved:
RPEQ (0715) RBPNTY(60596ES) RPE(Vic) (PE0002054)
RBP(Tas)(CC5556) RES NSW (BDC04601) MAIB (9225) JPI(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
22 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

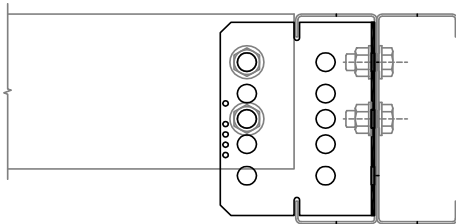
Date: 15/07/2025
Revision:
00
DRAWING NO:
22

END RAFTER CONNECTION



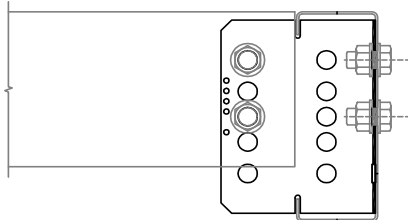
CROSS SECTION OF A-A

INTERNAL RAFTER CONNECTION (B2B)



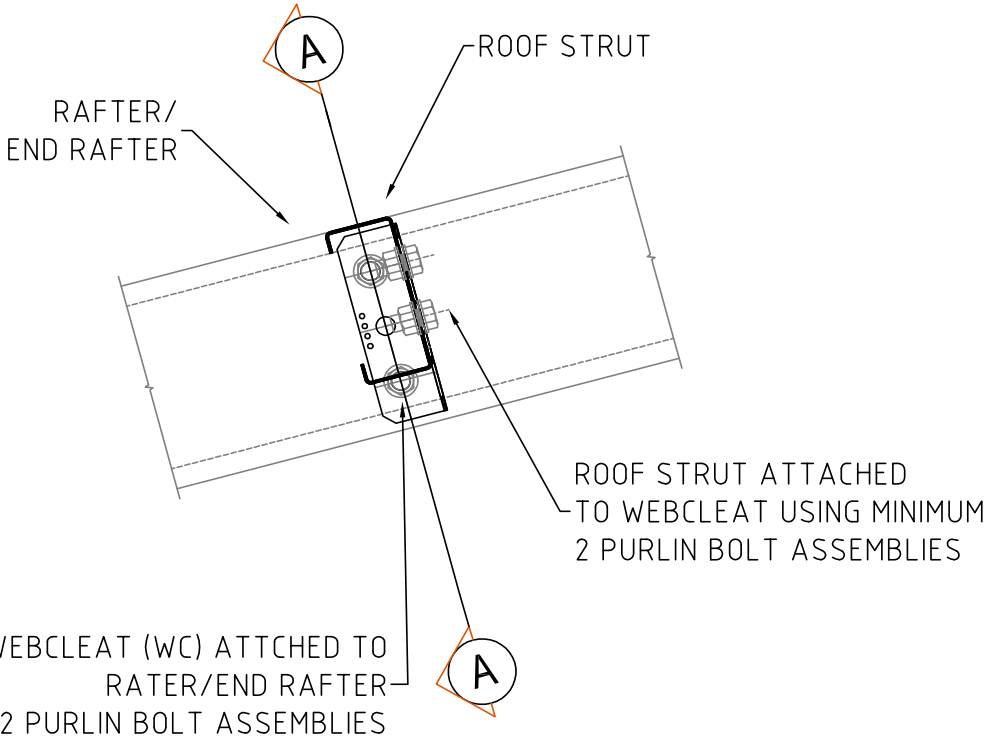
CROSS SECTION OF A-A

INTERNAL RAFTER CONNECTION SINGLE



CROSS SECTION OF A-A

INLINE PURLIN BOLT SCHEDULE	
PURLIN	BOLTS PER CONNECTION
C100	4-M12x4.6/S
C150-200-250-300-350	4-M16x4.6/S



WEBCLEAT (WC) ATTACHED TO
RAFTER/END RAFTER
USING 2 PURLIN BOLT ASSEMBLIES

NOTE : ROOF STRUTS WILL BE PUNCHED TO ATTACH TO WEBCLEAT'S.
RAFTERS WILL NEED TO BE MANUALLY DRILLED TO ATTACH THE WEBCLEAT'S.

DATE: 02.01.2013
REVISION: 01

Title:
ROOF/AVE STRUT CONNECTION

Drawing No.
ARSC

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



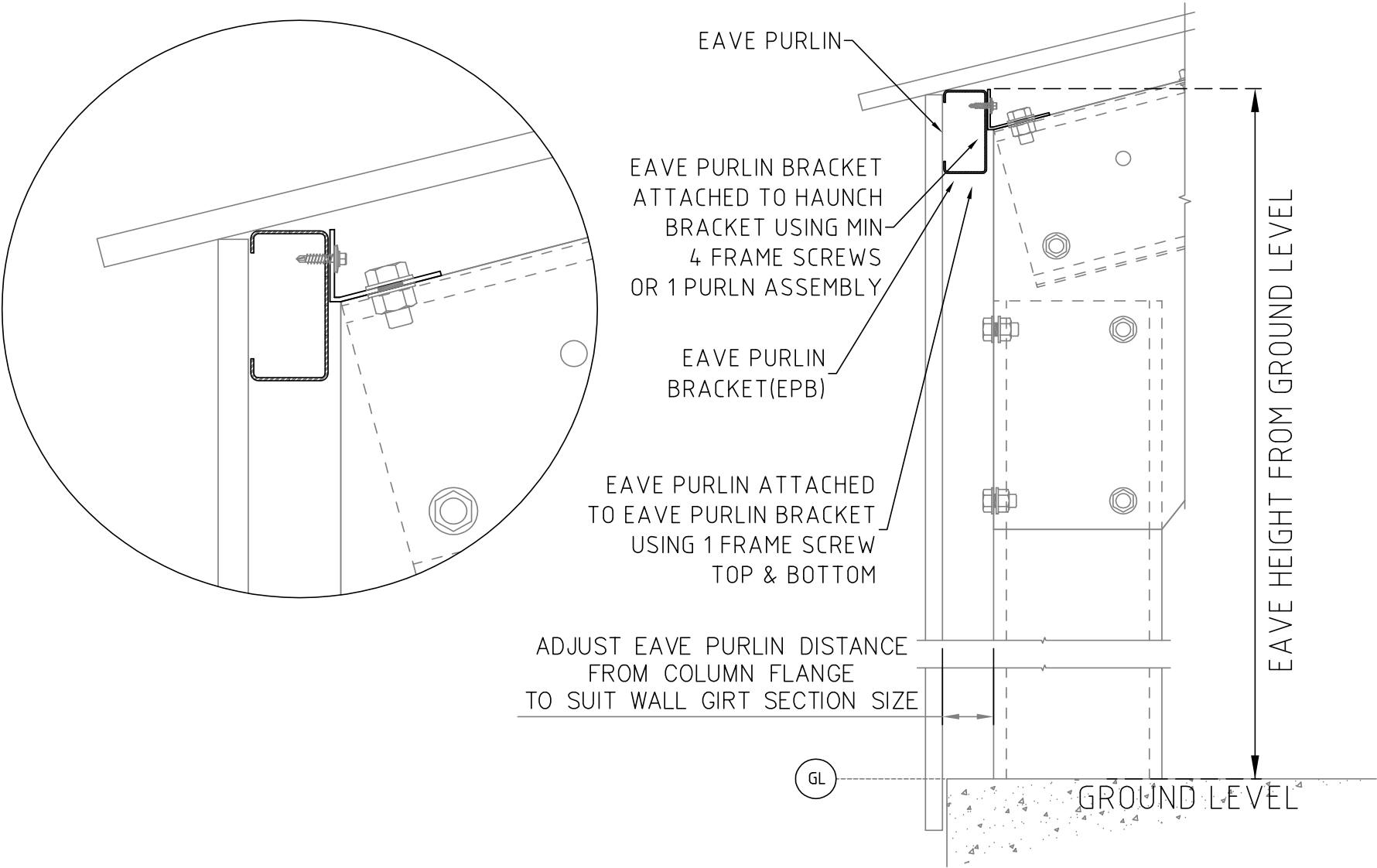
ENGINEERING CALCULATIONS BY:
Summertime Pty Ltd
Consulting Engineers
ACN: 108 898 433 ABN: 42 108 898 433
ron@summertime.com.au
www.summertime.com.au
Phone: 07 3800 0973
Approved:
RPEQ (0715)/NBPNT/160596(S) RPE/Vic (PE0002564)
RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225). JPV(Qual).

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
23 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
23



DATE: 02.01.2013
REVISION: 01

Title: EAVE PURLIN CONNECTION

Drawing No. AEPCSWG100

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



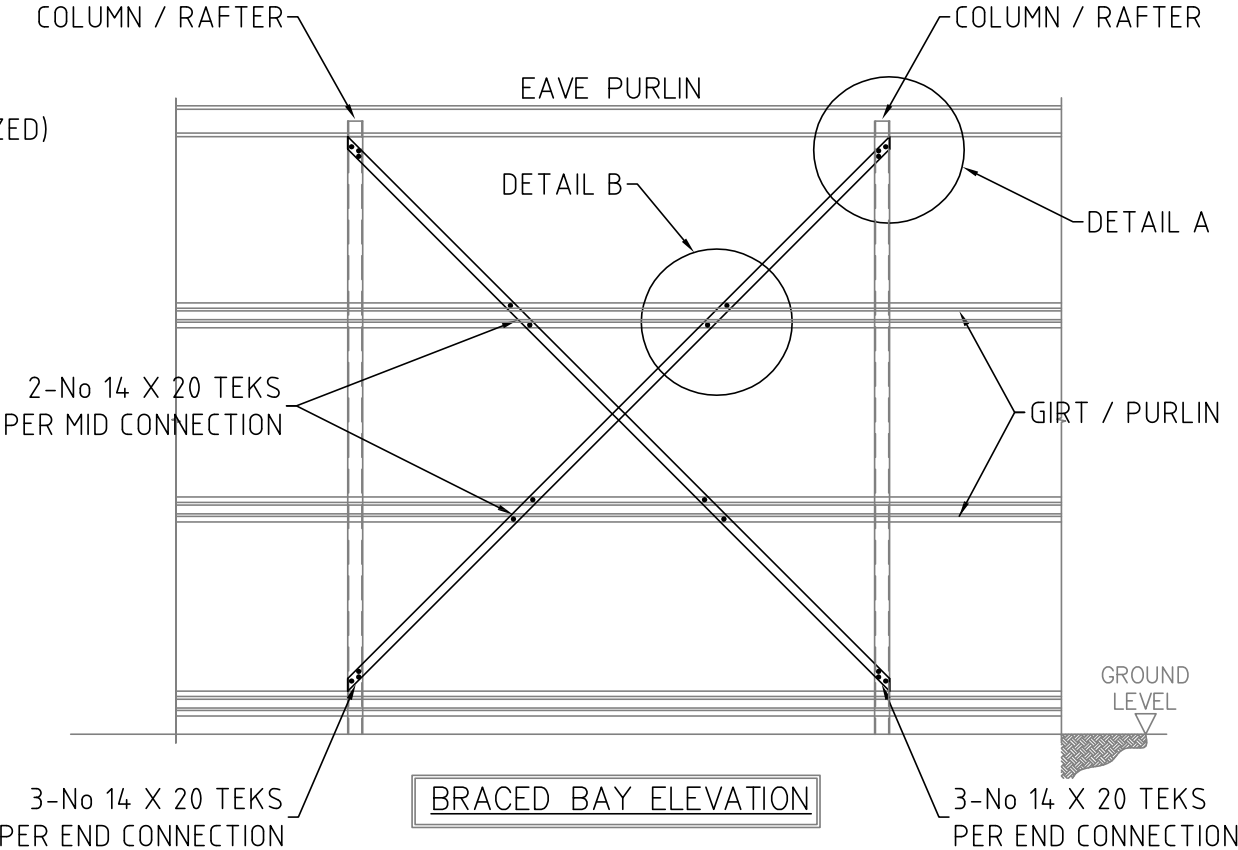
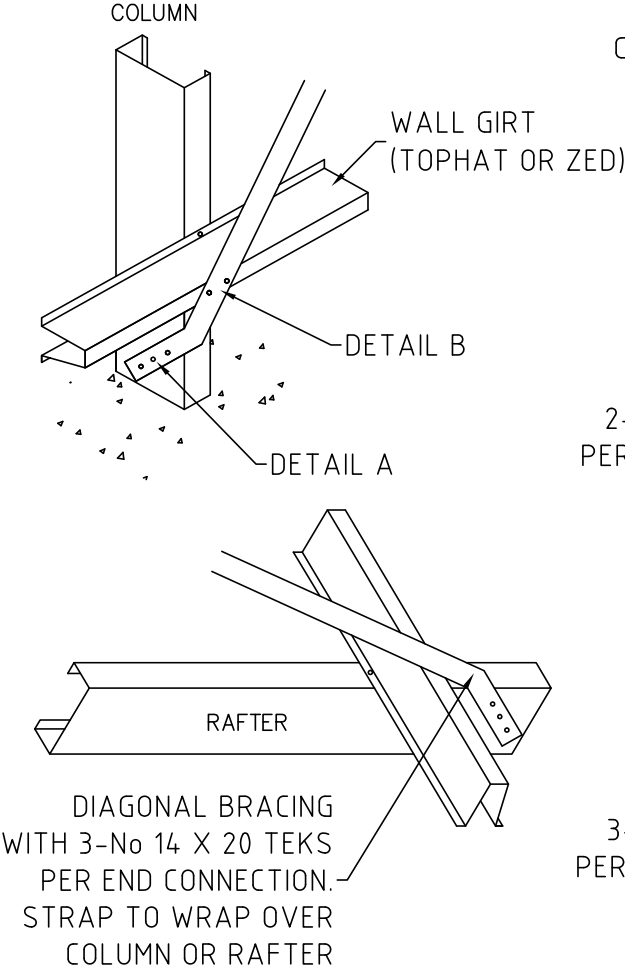
ENGINEERING CALCULATIONS BY:
Summertime Pty Ltd
Consulting Engineers
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RPEQ (0715)/RBPNT/160596(S) RPE/Vic (PE0002564)
RBP/Tas (CC5556), RES NSW (BDC04601), MAIB (9225), JPE(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
24 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
24



NOTE: NOT REQUIRED IN ALL BUILDINGS

DATE: 21.11.2023	Title: <u>DIAGONAL WALL & ROOF BRACING</u>	Drawing No. <u>ADBC</u>
REVISION: 02		

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au

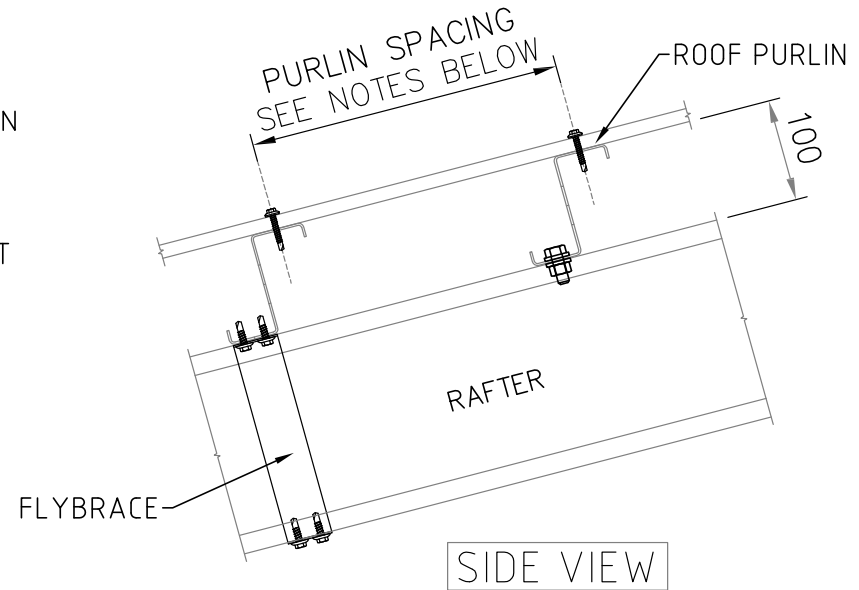
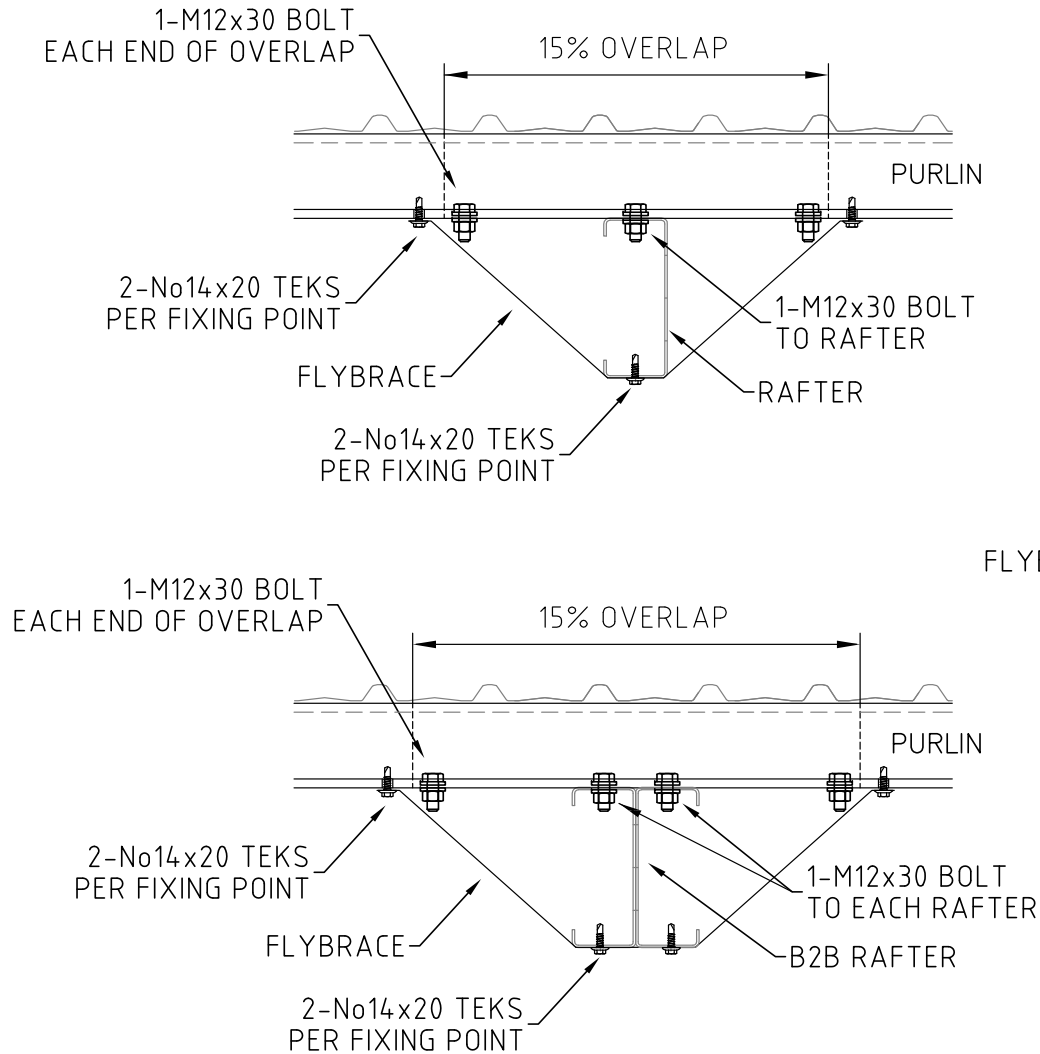


ENGINEERING CALCULATIONS BY:
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ron@summertime.com.au
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Phone: 07 3800 0973
Approved:
RPE (0715) / RBN (NT) / (60596ES) / RPE (Vic) / (PE0002564)
RBP (Tas) / (CC5556) RES NSW (BDC04601) / MAB (9225) / JP (Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
25 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
25



NOTES:

1. FLYBRACE SHALL BE LOCATED AT 3000 CENTRES MAX USING MINIMUM 6 FRAME SCREWS PER FLYBRACE.
2. REFER BUILDING SPEC SHEET OR ROOF PLAN FOR PURLIN SPACINGS.

DATE: 22.11.2023
REVISION: 02

Title:
BOLTED ROOF PURLIN CONNECTION

Drawing No.
ABPC-100

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au



ENGINEERING CALCULATIONS BY:
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Consulting Engineers
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Approved:
RPEQ (0715) RBPNT(055965) RPE(Vic) (PE0002564)
RBP(Tas)(CC5556) RES NSW (BDC04601) MAIB (9225) JPE(Qual)

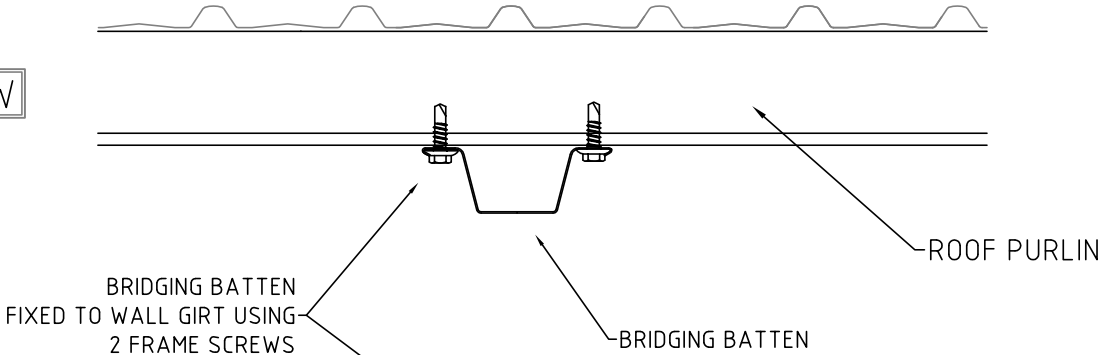
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SCALE:
1:100
SHEET:
26 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

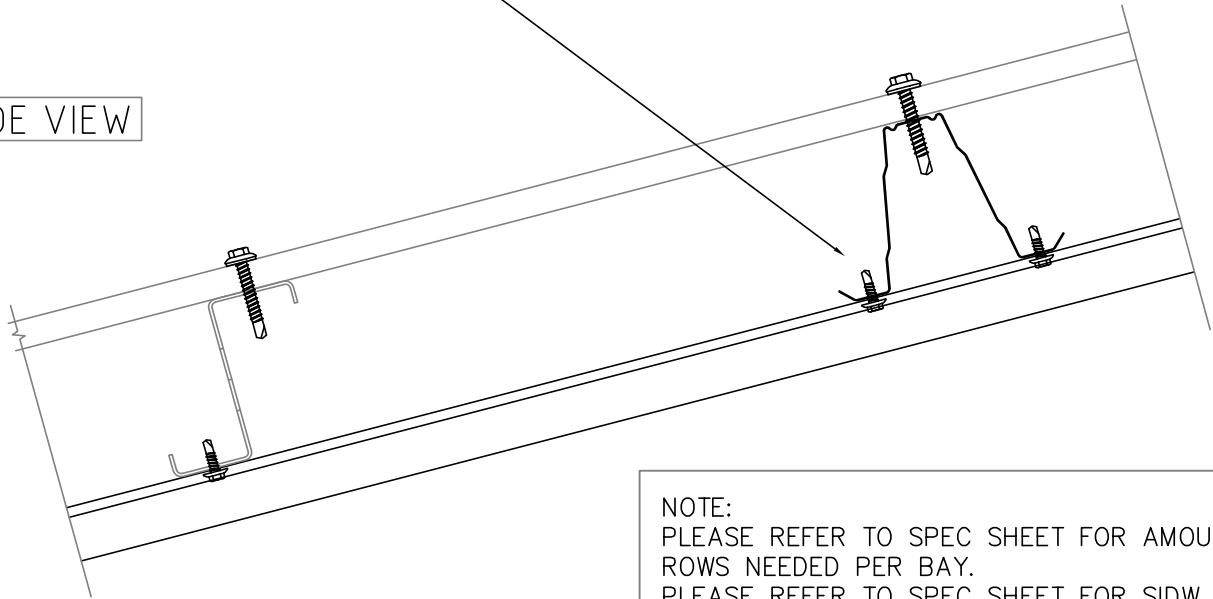
JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
26

PLAN VIEW



SIDE VIEW



NOTE:
PLEASE REFER TO SPEC SHEET FOR AMOUNT OF BRIDGING ROWS NEEDED PER BAY.
PLEASE REFER TO SPEC SHEET FOR SIDW WALL GIRT SIZE AND SPACINGS.

DATE: 02.01.2013
REVISION: 01

Title: BRIDGING CONNECTION

Drawing No. ABRDGAC

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
Email: Jude.Welch@titangarages.com.au

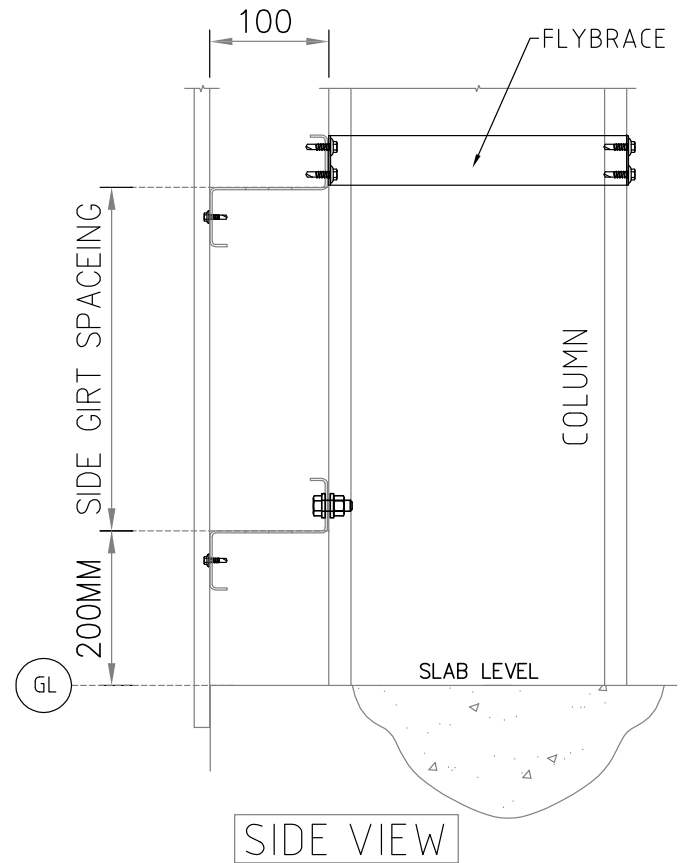
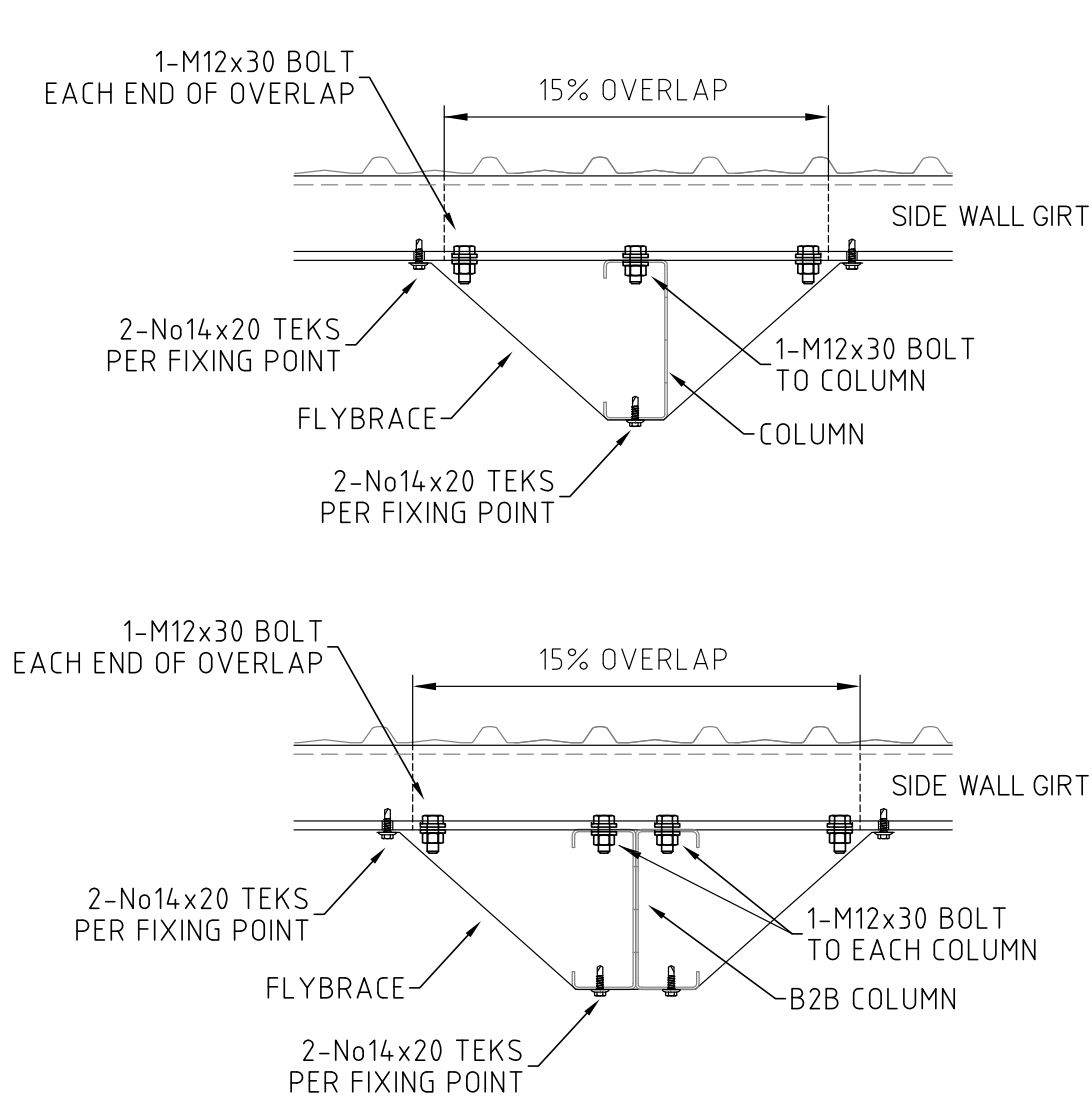


ENGINEERING CALCULATIONS BY:
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RBP/Tas (CC5556), RES NSW (BDC04601), MAIB (9225), JP(Qual)

DIST CODE: A2TA
SCALE: 1:100
SHEET: 27 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215, AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision: 00
DRAWING NO: 27



- NOTES:**
- FLYBRACE SHALL BE LOCATED AT 3000 CENTRES MAX USING MINIMUM 6 FRAME SCREWS PER FLYBRACE.
 - REFER BUILDING SPEC SHEET OR FRAME ELEVATIONS FOR SIDE WALL GIRTS SPACINGS.

DATE: 04.12.2023
REVISION: 03

Title:
BOLTED SIDE WALL GIRT CONNECTION

Drawing No.
ABSGC-100

SUPPLIED BY:
Titan Garages & Sheds Tasmania
29 Formby Street, Sheffield TAS 7306
PH: 0405 317 875
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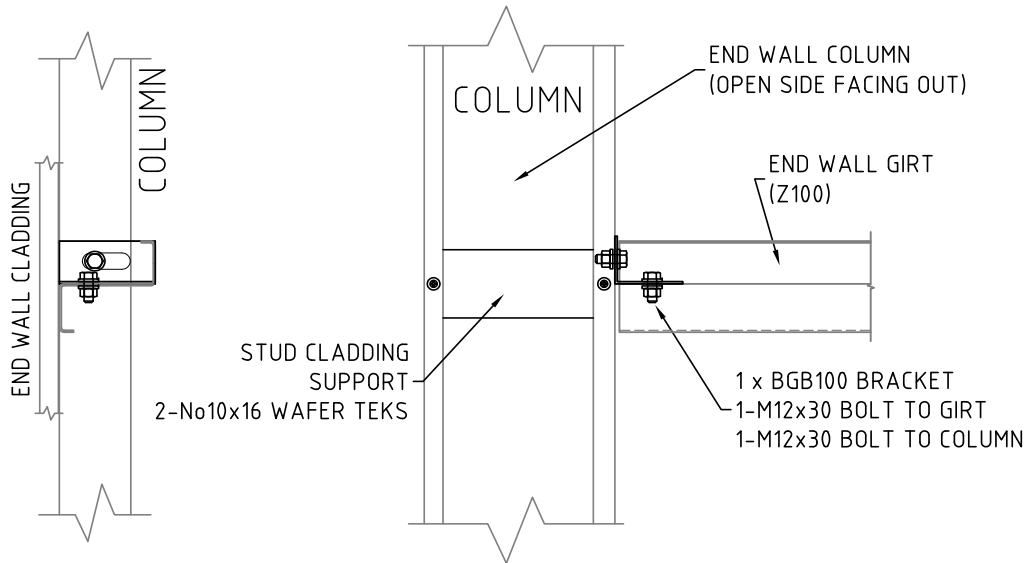


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RBP (Tas) (CC5556) RES NSW (BDC04601) MAIB (9225) JPE (Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
28 OF 35
A4 SHEET

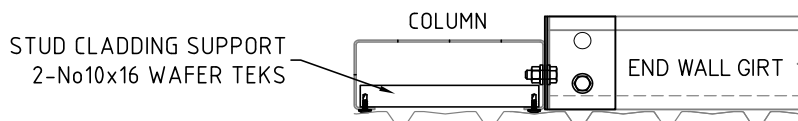
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166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215, AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
28



SIDE VIEW

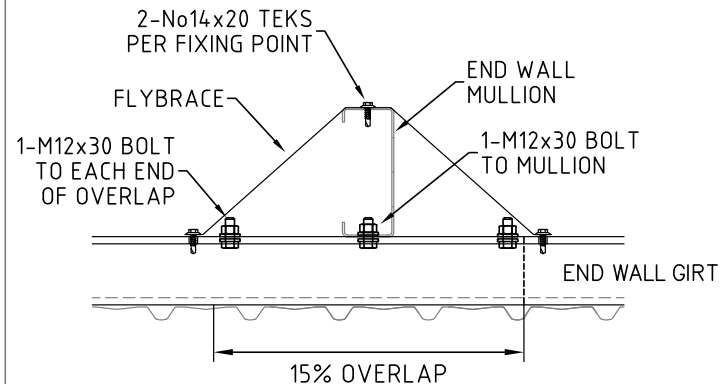
FRONT VIEW



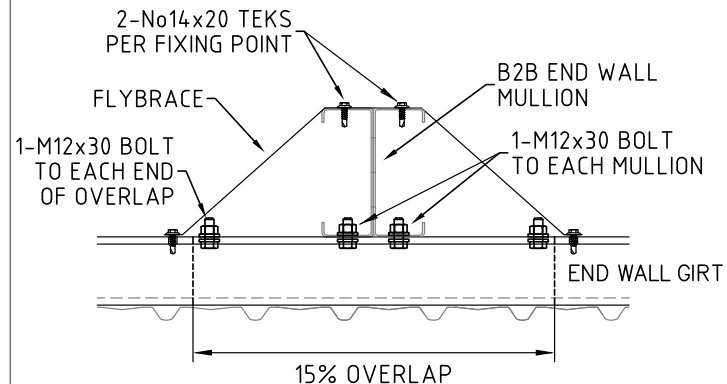
PLAN VIEW OF END COLUMN CONNECTION

NOTE : FLY BRACING SHALL BE LOCATED AT 3000MM CENTERS MAXIMUM ON MULLIONS

PLAN VIEW OF END WALL MULLION (SINGLE) CONNECTION



PLAN VIEW OF END WALL MULLION (B2B) CONNECTION



DATE: 30.11.2023
REVISION: 03

Title:

BOLTED END WALL GIRT CONNECTION

Drawing No.

ABEWG-100

SUPPLIED BY:

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RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225) /JP(Qual)

DIST CODE:
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SCALE:
1:100
SHEET:
29 OF 35
A4 SHEET

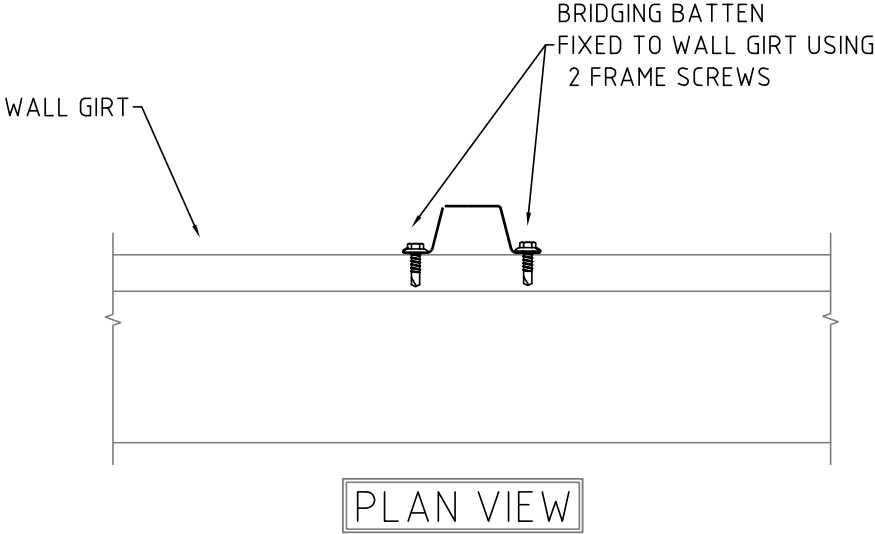
CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

JOB REFERENCE NO: 133054

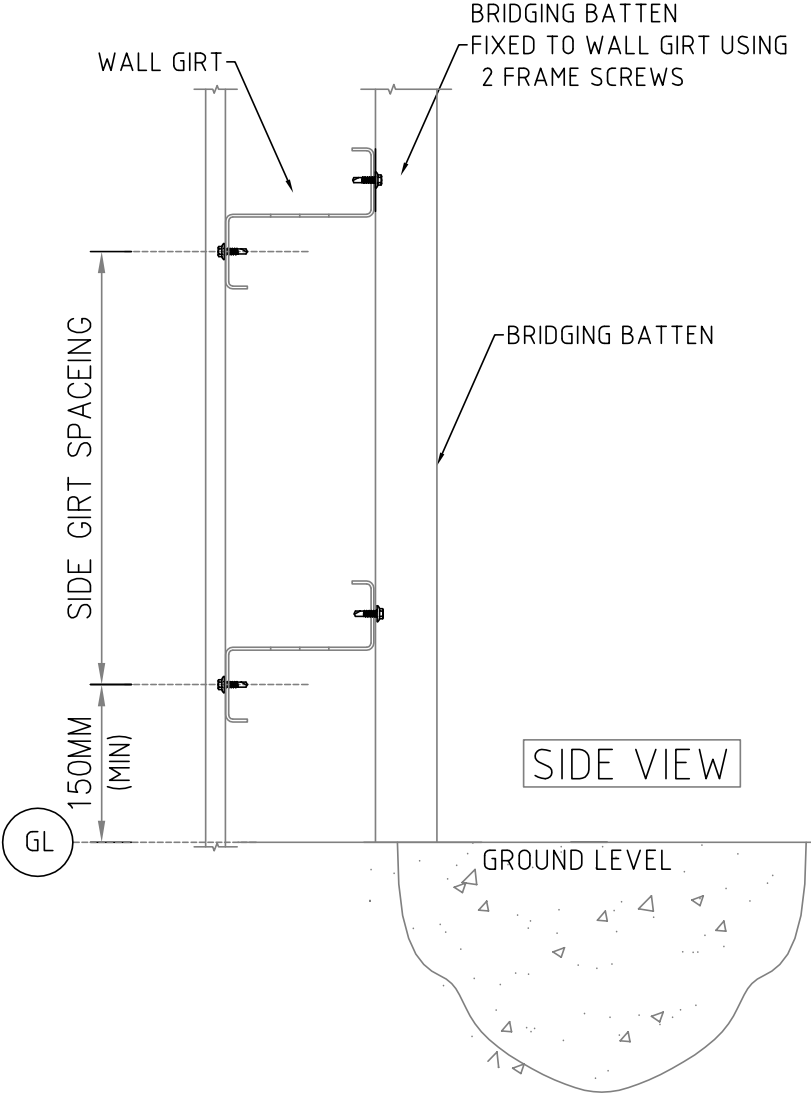
Date: 15/07/2025

Revision:
00

DRAWING NO:
29



NOTE:
PLEASE REFER TO SPEC SHEET FOR AMOUNT OF BRIDGING
ROWS NEEDED PER BAY.
PLEASE REFER TO SPEC SHEET FOR SIDW WALL GIRT SIZE
AND SPACINGS.



DATE: 02.01.2013
REVISION: 01

Title:
BRIDGING CONNECTION

Drawing No.
AEWG-150

SUPPLIED BY:
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29 Formby Street, Sheffield TAS 7306
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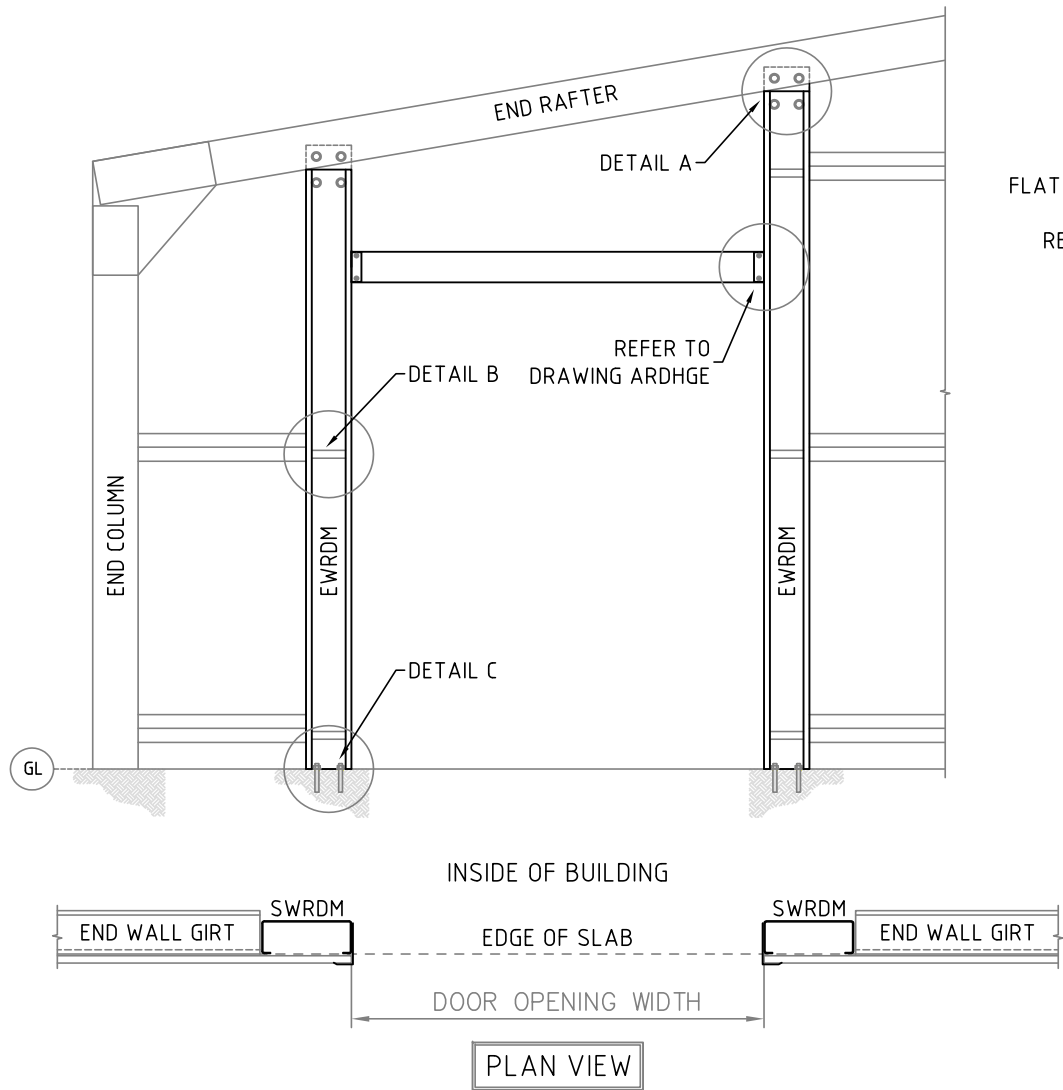


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RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225) /JP(Qual)

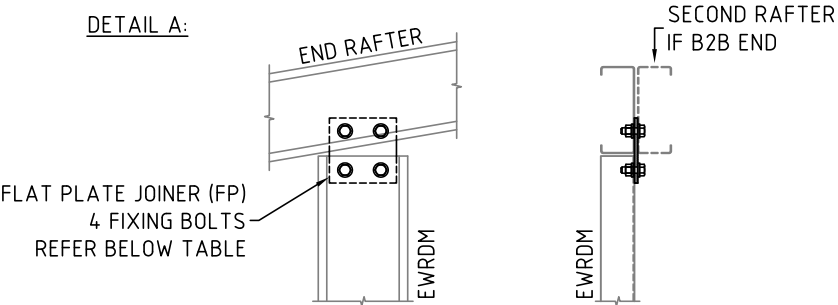
DIST CODE:
A2TA
SCALE:
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SHEET:
30 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
30



DETAIL A:

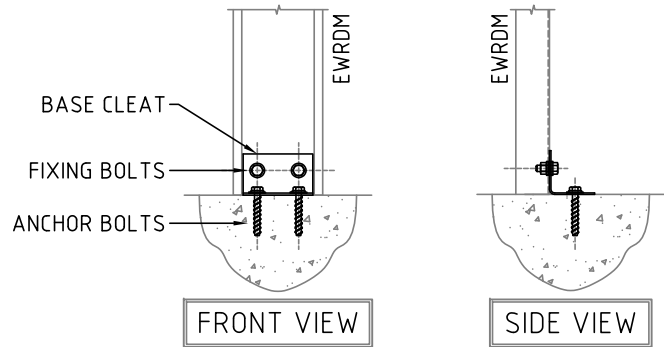


DETAIL B:

WALL GIRT TO BUTT UP TO ROLLER DOOR MULLION AND ATTACH USING 1 TEK BRACKET & 4 FRAME SCREWS
REFER TO END WALL GIRT CONNECTION DRAWING AEWG

DETAIL C:

REFER BELOW TABLE FOR FIXING BOLTS



RD MULLION	BASE CLEAT	FIXING BOLTS	ANCHOR BOLTS
C100	60 x 50 x 3	2-M12 4.6/S	2-M12x100
C150	65 x 55 x 3	2-M12 4.6/S	2-M12x100
C200 ≤4M BAY	65 x 65 x 3	2-M16 8.8/1B	2-M16x110
C200 >4M BAY	75 x 75 x 6	2-M16 8.8/TB	2-M16x110
C250	75 x 75 x 6	2-M16 8.8/TB	2-M16x110
C300	100 x 100 x 6	2-M16 8.8/TB	2-M16x110
C350	100 x 100 x 6	2-M16 8.8/TB	2-M16x110

DATE: 05.04.2024
REVISION: 02

Title: GABLE END ROLLER DOOR FRAME

Drawing No. AGERDC100

SUPPLIED BY:
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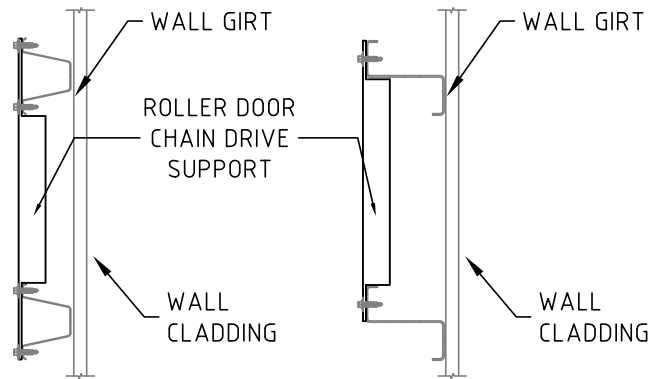
ENGINEERING CALCULATIONS BY:
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RPEC (0715)/RBPNT(160596S)/RPE(Vic) (PE002354)
RBP(Tas)(CC5556), RES NSW (BDC04601), MAIB (9225), JPI(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
31 OF 35
A4 SHEET

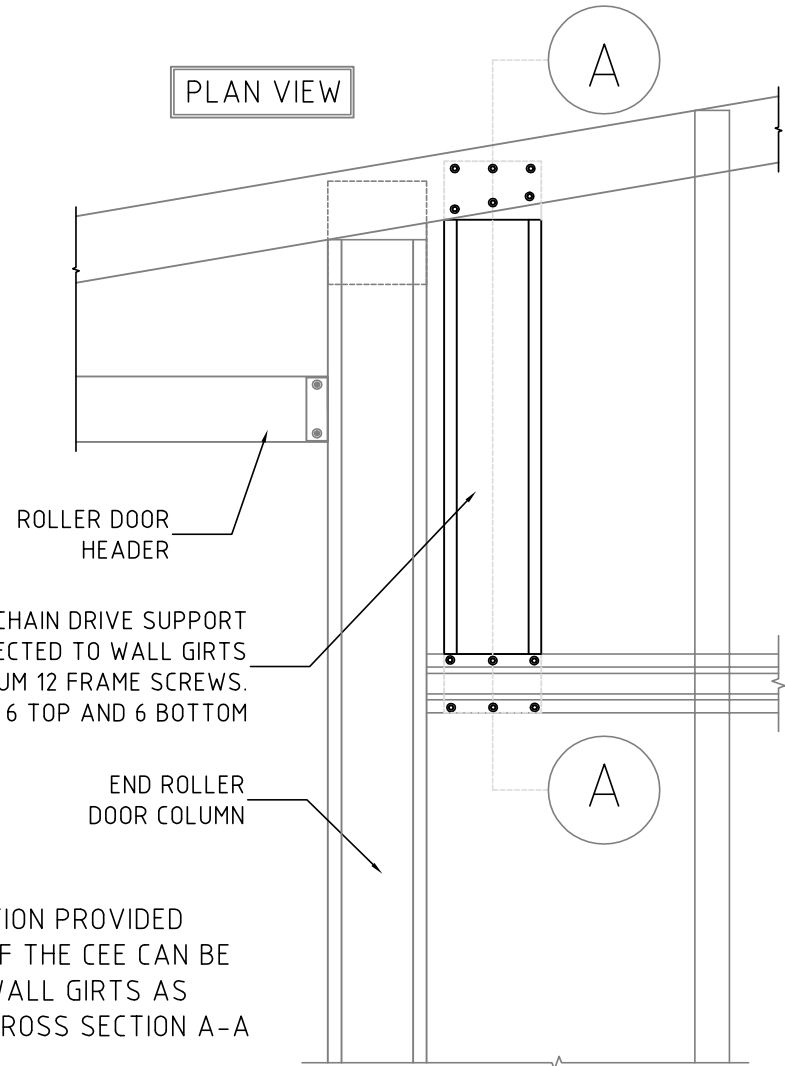
CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

Date: 15/07/2025
Revision:
00
DRAWING NO:
31

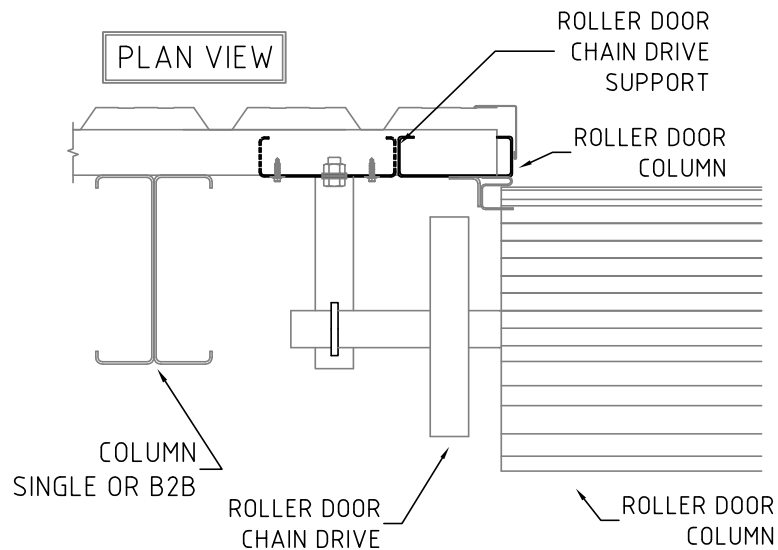
SECTION A-A



PLAN VIEW



PLAN VIEW



ROLLER DOOR CHAIN DRIVE SUPPORT
CONNECTED TO WALL GIRTS
USING MINIMUM 12 FRAME SCREWS.
6 TOP AND 6 BOTTOM

NOTE:
NOTCH CEE SECTION PROVIDED
SO THAT WEB OF THE CEE CAN BE
ATTACHED TO WALL GIRTS AS
SHOWN IN THE CROSS SECTION A-A

DATE: 02.01.2013
REVISION: 01

Title: ROLLER DOOR CHAIN SUPPORT DETAIL

Drawing No. AGERDCDS

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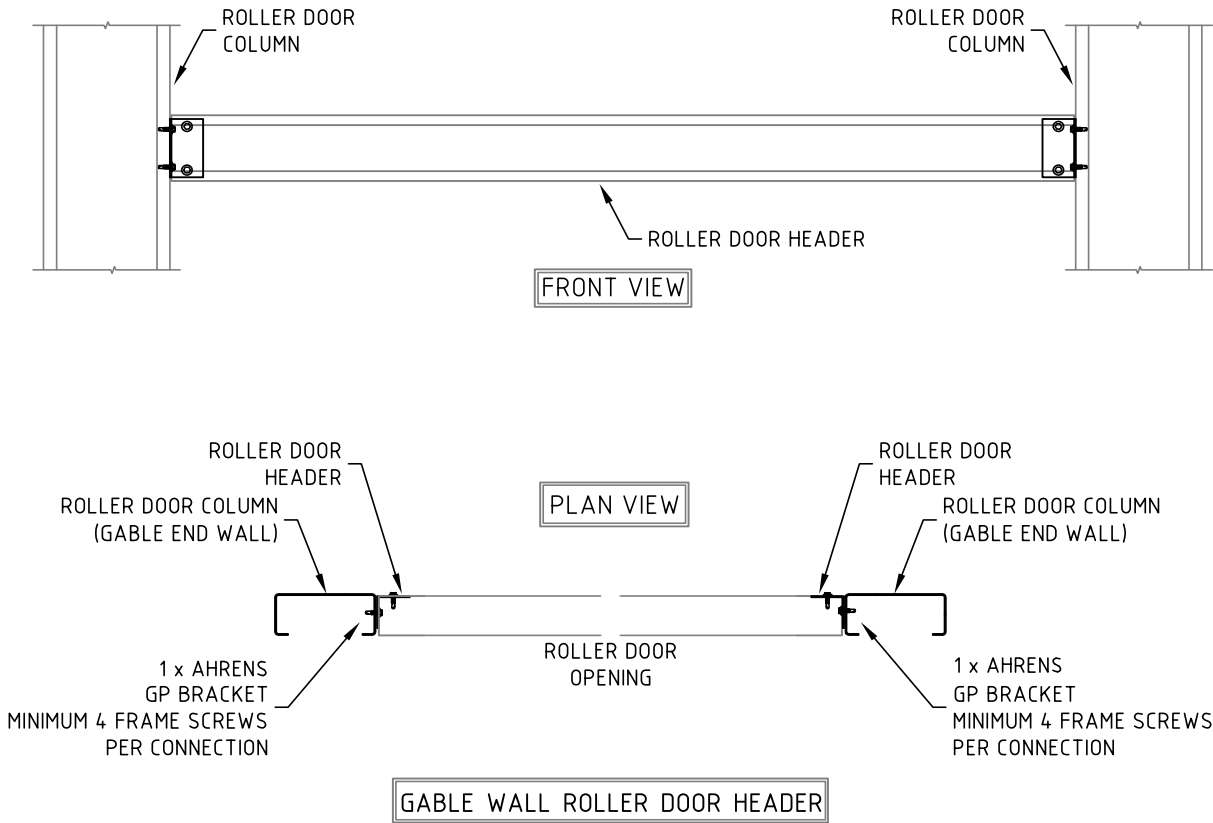
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Ronald A Bell
Grad Cert (Tech Mgt)
BEng Civil (Hons)
FIE Aust (891940), CPEng, NER
APEC Engineer, InspE (Aus)
Approved:
RPEC (0715), RBPNT (055965), RPE (Vic) (PE0002564),
RBP (Tas) (CC5556), RES NSW (BDC04601), MAIB (9225), JPV (Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
32 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision:
00
DRAWING NO:
32



DATE: 16.11.2023	Title: GABLE END ROLLER DOOR HEADER	Drawing No. ARDHGE
REVISION: 03		

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RBP(Tas)(CC5556). RES NSW (BDC04601)/MAIB (9225) /JP(Qual)

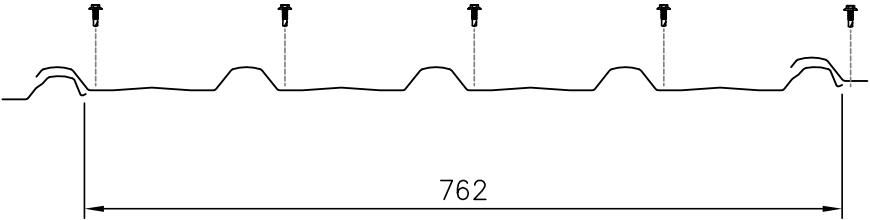
DIST CODE: A2TA
SCALE: 1:100
SHEET: 33 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215, AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

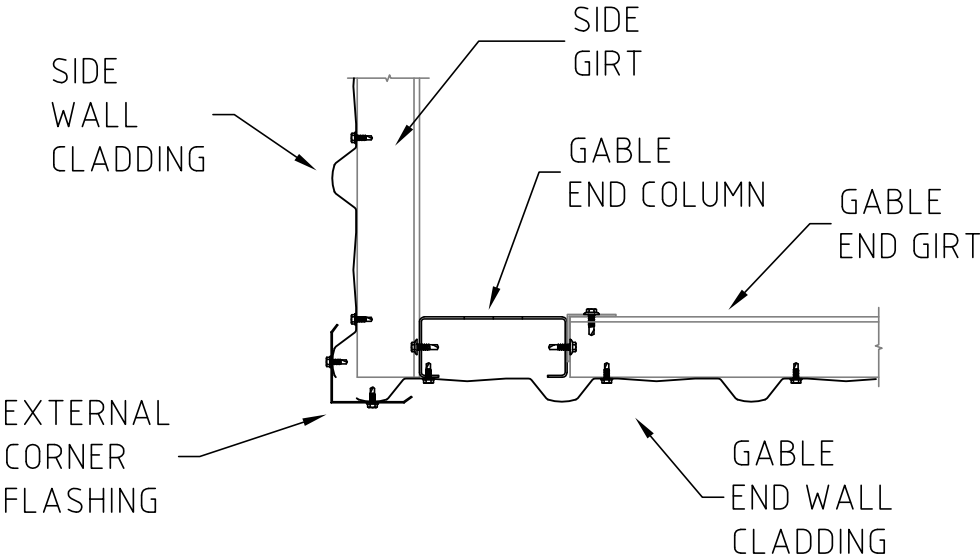
Date: 15/07/2025
Revision: 00
DRAWING NO: 33

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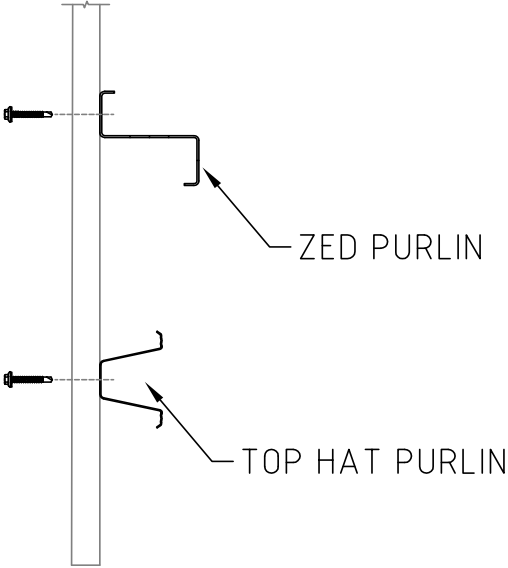
TRIMCLAD - FASTENING SCHEDULE



METROLL TRIMCLAD:
COVERAGE: 762
THICKNESS: 0.35 OR 0.42
OR 0.48



TRIMCLAD CORNER DETAIL:



TRIMCLAD FIXING DETAIL

DATE: 02.01.2013	Title: TRIMCLAD WALL CLADDING	Drawing No. WCTC
REVISION: 01		

SUPPLIED BY:
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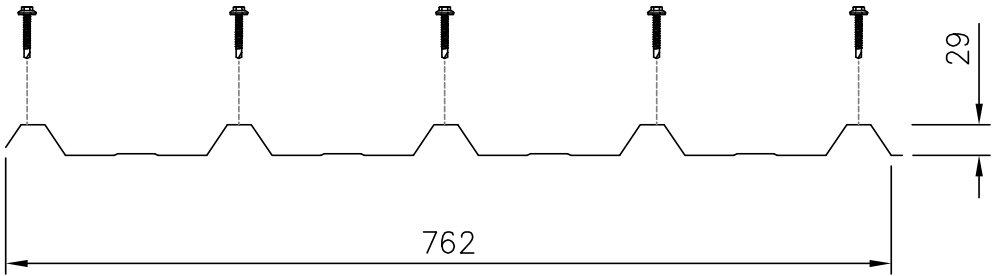
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RBP/Tas (CC5556), RES NSW (BDC04601), MAIB (9225), JPI(Qual)

DIST CODE:
A2TA
SCALE:
1:100
SHEET:
34 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215,
AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

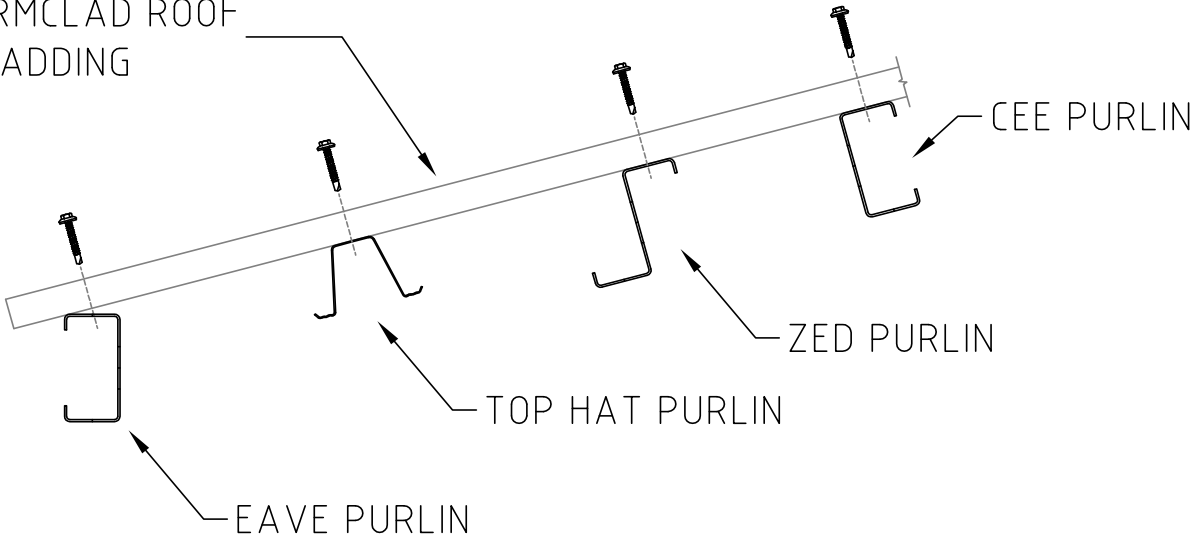
Date: 15/07/2025
Revision:
00
DRAWING NO:
34

TRIMCLAD - FASTENING SCHEDULE



METROLL TRIMCLAD:
COVERAGE: 762
RIB HEIGHT: 29
THICKNESS: 0.42 OR 0.48

TRIMCLAD ROOF
CLADDING



METROLL TRIMCALD PURLIN FIXING DETAIL:

DATE: 02.01.2013	Title: TRIMCLAD ROOF CLADDING	Drawing No. RCTC
REVISION: 01		

SUPPLIED BY:
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29 Formby Street, Sheffield TAS 7306
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RBPTas/1CC5556/ RES NSW (BDC4601)/MAIB (9225) /JP(Qual)

DIST CODE: A2TA
SCALE: 1:100
SHEET: 35 OF 35
A4 SHEET

CLIENT:
TRANSMAN SOLUTIONS - LEIGH GURR
166 HAZARDS VIEW DRIVE, COLES BAY, TAS 7215, AUSTRALIA
DRAWING TITLE:
CONNECTION DETAILS

JOB REFERENCE NO: 133054

Date: 15/07/2025
Revision: 00
DRAWING NO: 35